



REPORT TO PLANNING & ZONING COMMISSION

CITY OF MARYLAND HEIGHTS

APPLICATION NUMBER CUP24-0004

APPLICATION (PROJECT) NAME STARBUCKS

APPLICANT NAME Clay Adams Dorsett, LLC
c/o Adam Hartig
13253 Bonroyal Dr., St. Louis, MO 63131

PROPERTY OWNER NAME Clay Adams Dorsett, LLC
13253 Bonroyal Dr., St. Louis, MO 63131

APPLICANT'S REQUEST Conditional Use Permit to allow a Fast Food Restaurant with Drive Through Services and Outdoor Restaurant Seating at 12730 Dorsett Road.

SITE LOCATION South side of Dorsett Road, west of its intersection with McKelvey Road

STREET ADDRESS 12730 Dorsett Road

PARCEL/LOCATOR NUMBER 140440481

EXISTING ZONING DISTRICT "C-2" General Commercial

TOTAL SITE AREA 0.85 acres

PUBLIC HEARING April 9, 2024

REPORT ISSUED April 17, 2024

CASE MANAGER Erin LoRusso, AICP

RECOMMENDATION **APPROVAL**

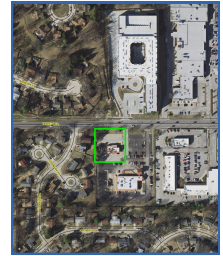
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DESCRIPTION OF EXISTING SITE CONDITIONS

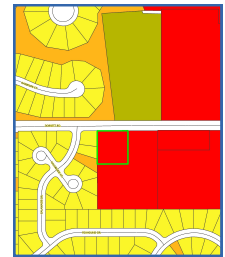
The Property is located on the south side of Dorsett Road, west of its intersection with McKelvey Road. The Property is 0.85 acres and was developed in 1980 with a 2,932 square foot fast food restaurant with a drive through. As the site was developed prior to the City’s incorporation, it is considered legally preexisting and non-conforming.



REFER TO FIGURE 1

NEIGHBORHOOD CONDITIONS/LAND USE

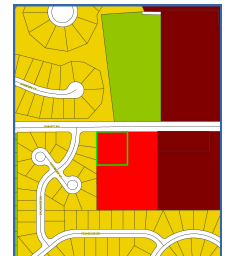
North of the Property, across Dorsett Road, are single-family and multi-family residential dwellings. Northeast of the site, across Dorsett Road, is Dorsett Village which incorporates several commercial uses such as *Schnuck’s*, *Orlando’s Event Center*, *Chick-fil-A*, and *Thai Kitchen* to highlight a few uses within the Village. Adjacent and to the Property’s southeast is *Casa Juarez Mexican Town*. Further east is Dorsett Square, with various commercial uses such as *Ethio Coffee*, *McDonald’s*, *ALDI*, *Dobbs Tire and Auto Center*, and *ACE Hardware*. Further south of the site, beyond *Casa Juarez*, are single-family dwellings. Adjacent and to the west of the Property are single-family residential dwellings.



REFER TO FIGURE 2

ZONING CONTEXT

The subject site and the property adjacent to the east and south are zoned “C-2” General Commercial District. To the north, across Dorsett Road, the zoning is comprised of “R-5” Single-Family Residential, “PDR” Planned District–Residential, and “PDC” Planned District–Commercial. Further east of the site, Dorsett Square is zoned “PDC” Planned District–Commercial. Abutting the site to the south and the west are properties zoned “R-5” Single-Family Residential.



REFER TO FIGURE 3

REFER TO APPENDIX—SUPPLEMENTAL MAPS AND EXHIBITS



EXISTING CONDITIONS MATRIX

DIRECTION	EXISTING LAND USE	ZONING DISTRICT	COMMENTS
North	Single-Family Residential, Multi-Family Residential, Commercial	“R-5”, “PDR”, “PDC”	Across Dorsett Road: <i>Pheasant Run Subdivision</i> , <i>The Flats at Dorsett Ridge</i> , <i>Dorsett Village</i>
East	Full Service Restaurant, Commercial	“C-2”, “PDC”	<i>Casa Juarez</i> access drive and parking lot, <i>Dorsett Square</i>
South	Full Service Restaurant, Single-Family Residential	“C-2”, “R-5”	<i>Casa Juarez</i> , <i>Foxborough Subdivision</i>
West	Single-Family Residential	“R-5”	Along Calamaide Drive: <i>Dorsett Run Subdivision</i>



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BACKGROUND AND REQUEST

The subject site was developed in 1980 with a fast food restaurant with drive through services (Arby's). As the site was developed prior to the City's incorporation, the existing fast food restaurant is considered legally preexisting and non-conforming. The applicant, Adam Hartig of Clay Adams Dorsett, LLC is requesting Planning Commission consideration of their request for a Conditional Use Permit to allow for a Fast Food Restaurant with Drive Through Services (LUC #722517) with Outdoor Restaurant Seating (LUC #722000) at 12730 Dorsett Road. The applicant is proposing to demolish the existing structure on the site and construct a new 2,443 square foot restaurant with a drive-through in lieu thereof, meaning the site would no longer be considered preexisting and non-conforming and a Conditional Use Permit would be required to operate a fast food restaurant with drive through services.

The proposed Starbucks would be located further south on the site than the previous structure in an effort to meet the stacking requirements for a motor vehicle-oriented business. A Trip Generation Analysis prepared by CBB and dated March 19, 2024 was reviewed by the City and St. Louis County to evaluate the number of new vehicle trips on the road as a result of the proposed Starbucks. St. Louis County and City staff agree with the data, methodologies, and findings of the Trip Generation Analysis prepared by CBB. See Appendix B of this report for the applicant's submittal, including the aforementioned Trip Generation Analysis.

On April 9, 2024, the Planning Commission discussed the request at hand after reviewing the City Planner's Report to the Planning Commission dated April 3, 2024. The Commission felt the use was appropriate at the proposed location and would not negatively impact the character of the community. The Commission asked to see greater landscaping along the west of the site, adjacent to the residential dwellings. It is the intent of this report to address any remaining issues and discuss the approach taken by staff in preparing the attached draft ordinance.

ANALYSIS

BURDEN OF PROOF

In presenting any application for a Conditional Use Permit, the applicant must demonstrate that the proposed use meets the burden of proof criteria contained in Section 25-5.8, Burden of Proof, of the Zoning Code. An analysis of the five criteria contained in the Code follows.

- 1. CONSISTENCY. THE CONDITIONAL USE IS DEEMED CONSISTENT WITH GOOD PLANNING PRACTICE IN THAT IT:**
 - A. ADVANCES THE GOALS, OBJECTIVES, AND POLICIES OF THE COMPREHENSIVE PLAN.**
 - B. ADVANCES THE PURPOSE AND INTENT OF THE UNDERLYING ZONING DISTRICT.**
 - C. MEETS THE REQUIREMENTS CONTAINED IN THE ZONING CODE FOR THE SPECIFIC USE.**

COMPREHENSIVE PLAN

The goals and objectives of the Comprehensive Plan applicable to the current request are:

- *Encourage projects and features that enhance the identity and image of the City.*
- *Manage access and traffic to promote safety, maximize efficiency, and avoid congestion.*
- *Promote appropriate new commercial development or redevelopment of existing properties where market-supported opportunities occur.*
- *Encourage the expansion and strengthening of existing commercial areas.*

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ANALYSIS (Cont.)

- *Support the development of neighborhood retail and service opportunities.*

Staff believes the above goals relate to the request. The proposed coffee shop with dine-in and drive through services is generally consistent with the goals listed above. Redevelopment of the Property would enhance the City's image in comparison to the current structure on the site and would allow for greater stacking on the site, avoiding vehicular congestion as directed by the Comprehensive Plan. The proposed *Starbucks* would replace an existing fast food restaurant on the site, and would continue to act as a neighborhood service opportunity. Following discussion at the Public Hearing on April 9, 2024, the Planning Commission determined that the proposed *Starbucks* is appropriate at this location given the commercial land use pattern to the site's north, east, and south. Overall, the Planning Commission has determined that redevelopment of the Property is consistent with the Comprehensive Plan.

"C-2" DISTRICT

The stated purpose of the "C-2" General Commercial District is:

This zoning district is composed of those areas of the City whose principal use is or ought to be general retail, service, and repair business activities which serve the entire city and surrounding area.

The proposed conditional use is consistent with the purpose of the "C-2" District. It is a commercial use and will provide a new service opportunity for the community. If operated in accordance with the attached draft ordinance, the fast food restaurant with drive through services should not negatively impact adjoining properties.

ZONING CODE REQUIREMENTS

The request at hand meets the zoning requirements of the "C-2" District. However, the proposed use is also governed by Article 23, Motor Vehicle Oriented Businesses, of the Zoning Code. The Zoning Code contains specific requirements for motor vehicle oriented businesses (MVOBs) which must be complied with in order for a Conditional Use Permit to be granted. The proposed *Starbucks* does not satisfy all areas of Article 23 (see below). In response to such inconsistencies, the Planning Commission must determine if waiving or modifying the standards is appropriate given the site's context. Staff would note that Dorsett Road is owned and maintained by St. Louis County Department of Transportation.

Section 25-23.3, Location Requirements:

All MVOBs must be a minimum of three hundred (300) feet from other motor vehicle oriented businesses, which distances shall be computed as follows:

- A. For such businesses on the same side of the street, a minimum of three hundred (300) feet shall be provided between the two (2) closest property lines, said minimum distance, however, being subject to the effect of the additional requirements set forth in paragraphs B. C. and this subsection.*

The subject site is roughly one hundred and eighty (180) feet from the nearest MVOB, *McDonald's* (to its east). That being said, the site was previously occupied with an MVOB and did not present adverse traffic impacts as a result of its proximity to another MVOB. Staff would argue that the findings of the Trip Generation Analysis and the replacement of an MVOB with a MVOB at this location is appropriate. This inconsistency was discussed at the Public Hearing on April 9th, and the Planning Commission agreed with Staff's findings that replacing a fast food restaurant with drive through services with the same use was appropriate. As such, staff



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ANALYSIS (Cont.)

prepared a draft ordinance for the Planning Commission's consideration despite this inconsistency with the Zoning Code.

Section 25-23.5, Drive-Thru Lanes Standards, dictates all drive through facilities, with fast food drive throughs being more specifically regulated by Section 25-23.5.G. The proposed site plan indicates stacking for 19 vehicles, in accordance with Section 25-23.5.G.1, Storage Length, and does specifically reserve the drive through for orders from the menu board in accordance with Section 25-23.5.G.2, Exclusive Use. The proposed site plan does indicate one inconsistency with the drive-thru requirements for fast food restaurants pertaining to a delayed pick-up area:

- 3. A pick-up area sufficient to store one (1) car shall be provided for each pick-up window.*

The site plan submitted with this request does not include a dedicated space for a delayed order pick-up. Given that a distance requirement is not associated with this standard, the developer could dedicate a space at the front of the building (outside of the drive through lane) for delayed pick-up. The draft ordinance is written to permit this inconsistency as it allows a site plan generally consistent with the documents attached to this report, but if the Planning Commission would like to see a delayed order parking spot dedicated on the site plan, the ordinance could be amended to reflect such.

Section 25-23.6, Site Design:

A. Off-Street Parking:

- 1. All MVOBs shall provide for off-street parking in accordance with the requirements of Section 24-14, Parking and Loading Regulations, except as otherwise noted elsewhere.*
- 2. The minimum parking width of a parking stall shall be ten (10) feet.*
- 3. No internal parking stall, cross drive aisle, or loading space shall be located closer to the street right-of-way than twenty (20) feet or within any side yard setback.*

The applicant's site plan includes a total of 31 parking spaces, including 2 accessible parking spaces. The applicant's proposed parking plan meets the minimum parking requirements contained in Appendix B, Land Use and Required Parking Matrix, of the Zoning Code, for a fast food restaurant with drive through services. That being said, the applicant's plan includes parking spaces with a stall width of nine (9) feet, not ten (10), as directed by the Code. Staff would note that Article 14, Parking and Loading Regulations, of the Zoning Code permits a nine (9) foot stall width for parking spaces angled at ninety (90) degrees, but given the higher turnaround associated with MVOBs, a wider stall width is required by Article 23, Motor Vehicle Oriented Businesses, of the Zoning Code. This standard is reiterated in Section 25-14.5.C, which states a minimum stall width of ten (10) feet is required for MVOBs. The draft ordinance is written to permit the parking as proposed, however, if the Commission decides this modification is not warranted, Staff can amend the draft ordinance accordingly. If the Commission requires a ten (10) foot wide stall width and it results in substantial changes to the site plan, the draft ordinance requires the applicant go before the Planning Commission to review the revised plan.

- 2. OPERATIONAL IMPACTS. THE CONDITIONAL USE CAN BE OPERATED IN A MANNER THAT IS NOT DETRIMENTAL TO THE PERMITTED DEVELOPMENTS AND USES IN THE DISTRICT. IN DETERMINING THE IMPACTS OF THE PROPOSED USE ON SURROUNDING PROPERTIES, THE FOLLOWING FACTORS SHALL BE CONSIDERED:*

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ANALYSIS (Cont.)

- A. **NOISE;**
- B. **ODOR;**
- C. **TRAFFIC;**
- D. **OPERATIONAL SCHEDULE; AND/OR**
- E. **OTHER SIMILAR FACTORS RELATED TO THE NATURE OF THE OPERATION.**

While the proposed use, a fast food restaurant with drive through services, is replacing a previous fast food restaurant with drive through services, it is expected to generate greater trips in the AM peak period, between the hours of 7:00 a.m. to 9:00 p.m. As the previous use on the site, Arby's, did not offer services in the morning, it should not be of surprise that the proposed use is expected to generate 45 new trips in the morning hours. That being said, more than generating new traffic, the proposed Starbucks is expected to change the pattern of traffic movements along Dorsett Road. St. Louis County, City staff, and the Planning Commission found the results of the Trip Generation Analysis to be satisfactory. As such, the draft ordinance does not regulate traffic other than requiring the existing full access drive to be used in place.

Aside from traffic, the other operational impacts are of nominal concern. At the Public Hearing, Staff brought the hours of operation (5:00 a.m. to 8:30 p.m.) and the proximity of the order point to the residential dwellings to the site's west to the Planning Commission's attention, but the Commission did not feel the adjoining uses would be negatively impacted by such. Therefore, the draft ordinance permits the proposed hours of operation and allows the order point and menu board to be used in place, but states the business must adhere to St. Louis County's Noise Control Ordinance. Due to the residential dwellings adjacent and to the site's west, the draft ordinance requires the outdoor patio area be located on the building's east side and prohibits patio seating past 9:00 p.m.. If operated in accordance with the draft ordinance, the proposed use should not negatively impact surrounding land uses.

3. VISUAL IMPACTS. THE CONDITIONAL USE CAN BE DEVELOPED AND OPERATED IN A MANNER THAT IS BOTH VISUALLY COMPATIBLE WITH THE PERMITTED USES IN THE SURROUNDING AREA AND PROTECTS OR ENHANCES THE PUBLIC VIEWSHED. IN DETERMINING THE VISUAL IMPACT OF THE PROPOSED USE ON SURROUNDING PROPERTIES, THE FOLLOWING FACTORS SHALL BE CONSIDERED:

- A. **DENSITY. EITHER THE NUMBER OF UNITS AND/OR SITE COVERAGE IN RESPECT TO THE IMMEDIATE NEIGHBORHOOD;**
- B. **MASSING AND SCALE. THE LOCATION, FLOOR AREA, AND/OR HEIGHT OF THE STRUCTURES ASSOCIATED WITH THE PROPOSED CONDITIONAL USE; AND**
- C. **SCREENING AND BUFFERS. THE USE OF LANDSCAPING, FENCING, SETBACKS OR OTHER DESIGN FEATURES TO MITIGATE THE VISUAL IMPACT OF THE PROPOSED CONDITIONAL USE.**

The current request would involve demolition of the existing 2,905 square foot fast food restaurant and redevelopment of the site with a 2,443 square foot Starbucks complete with a drive through and outdoor patio seating.

Staff is of the opinion that the proposed redevelopment of the site would benefit the Dorsett Road corridor in that the new construction would be a substantial upgrade from the current structure on the site. Moreover, redevelopment of the site would bring it into greater conformance with the standards of the Zoning Code, including landscaping. The applicant's landscaping plan satisfies the landscaping requirements of the Zoning Code and includes a proposed continuation of the Versa Lok piers to the site's east, in front of McDonald's, creating a sense of continuity amongst the commercial uses.



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ANALYSIS (Cont.)

Despite the plan's conformance with the minimum requirements of the Zoning Code, the Planning Commission, at the Public Hearing, asked the applicant to install greater screening along the site's west, in an effort to create greater separation from the residential dwellings along Calamaide Drive. Staff spoke with the Landscape Architect who stated the soil quality is questionable in said area, but where the soil is viable, he has incorporated more shrubs and semi-evergreen plants such as Viburnum along the western property line. In response to the Commission's request, the draft ordinance requires the maximum screening possible to the residential uses to the site's west. Additionally, the draft ordinance permits landscaping be designed in accordance with Article 16, Landscaping Design Standards, of the Zoning Code, instead of allowing the plans to be consistent with those included in Appendix B of this report. Staff did this intentionally because, if, for example, the Commission requires ten (10) foot wide parking stall widths, it would likely result in changes to the landscaping. Instead of having to bring the plans back to the Commission, it creates a more efficient and equitable process if the plans are required to meet the minimum standards of the Zoning Code. Moreover, requiring the landscaping plan to be in accordance with the Zoning Code ensures invasive non-native plant species, such as honeysuckle, be removed from the site.

Regarding other visual impacts, the draft ordinance requires building design, screening, and lighting be designed in accordance with the minimum requirements of the Zoning Code. The exception to the above is signage; the applicant is proposing an array of signage, typical of most Starbucks. As dimensions of said signage were not included in the CUP submittal, the draft ordinance requires signage be per the Zoning Code. Due to the sheer number of signs on the site, a sign package will be required. The draft ordinance is written to allow City Planner review and approval of the sign package, unless the Planning Commission would prefer the sign package go before them. One item to note is that a portion of the signage, as proposed, would encroach on the Metropolitan Sewer District (MSD) easements, meaning staff would be required to send the sign package to MSD to ensure any encroachments on their easements are permissible.

The last operational impact to be addressed is the proposed patio seating which was included in the renderings. At the Public Hearing, the Commission was pleased to see outdoor seating included in the plans and felt it was a nice commodity for pedestrians who are not taking advantage of the site's drive through. The draft ordinance permits outdoor patio seating, subject to City Planner review and approval. As the submitted plans do not include patio dimensions or a table count, the draft ordinance does include a maximum square footage for said patio seating but relies upon City Planner review and approval so long as the patio is located on the building's east side. If the Planning Commission is uncomfortable with this approach, the ordinance can be amended to require their review and approval.

4. INFRASTRUCTURE. ADEQUATE FACILITIES EITHER EXIST OR WILL BE PROVIDED, INCLUDING BUT NOT LIMITED TO:

- A. ACCESS**
- B. PARKING AND LOADING**
- C. EMERGENCY SERVICES**
- d. UTILITIES**
- e. DRAINAGE**

Adequate facilities exist to support the proposed use. The applicant intends to utilize the existing thirty (30) foot wide access drive along Dorsett Road, which shares an access agreement with *Casa Juarez*, to the site's southeast. As previously mentioned, the applicant is proposing 31 parking spaces, 2 of which are accessible, satisfying the requirements of the Code. This number is subject to change if the Planning Commission determines a wider stall width, as required with any MVOB, is necessary. If the

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ANALYSIS (Cont.)

number of parking spaces was to be reduced as a result of a wider stall width, the applicant may need to explore alternatives such as deferred or shared parking, subject to the requirements of Article 14 of the Zoning Code. The draft ordinance is written to require parking be in consistent with the exhibits included in Appendix B of this report. Further, as the project involves new construction, the draft ordinance requires agency approval from St. Louis County Department of Transportation, MSD, and the Maryland Heights Fire Protection District.

5. GENERAL WELFARE. THE CONDITIONAL USE IS DEEMED ESSENTIAL, CONVENIENT, OR DESIRABLE TO PRESERVE AND PROMOTE THE PUBLIC HEALTH, SAFETY, AND GENERAL WELFARE OF THE CITY OF MARYLAND HEIGHTS.

The proposed use promotes the general welfare of Maryland Heights. The use would provide an additional service to the immediate area and would do so through the convenience of a drive-through.

FINDINGS AND RECOMMENDATION

CONSISTENCY WITH COMPREHENSIVE PLAN

1. The City Planner finds that the request is consistent with the Comprehensive Plan.

CONSISTENCY WITH ZONING CODE

2. The City Planner finds that the request is consistent with the “C-2” General Commercial District.

IMPACT ON NEIGHBORHOOD CHARACTER

3. The City Planner finds that the proposed use would not have a substantial adverse impact on neighborhood character, subject to the conditions of the draft ordinance.

BURDEN OF PROOF

4. Overall, the City Planner finds that the request meets the burden of proof criteria for Conditional Use Permits.

RECOMMENDATION

Based on the above findings, the City Planner recommends approval of Conditional Use Permit Application CUP24-0004, *Starbucks*, subject to the conditions of the draft ordinance attached to this report.

A handwritten signature in black ink, appearing to read 'Erin LoRusso'.

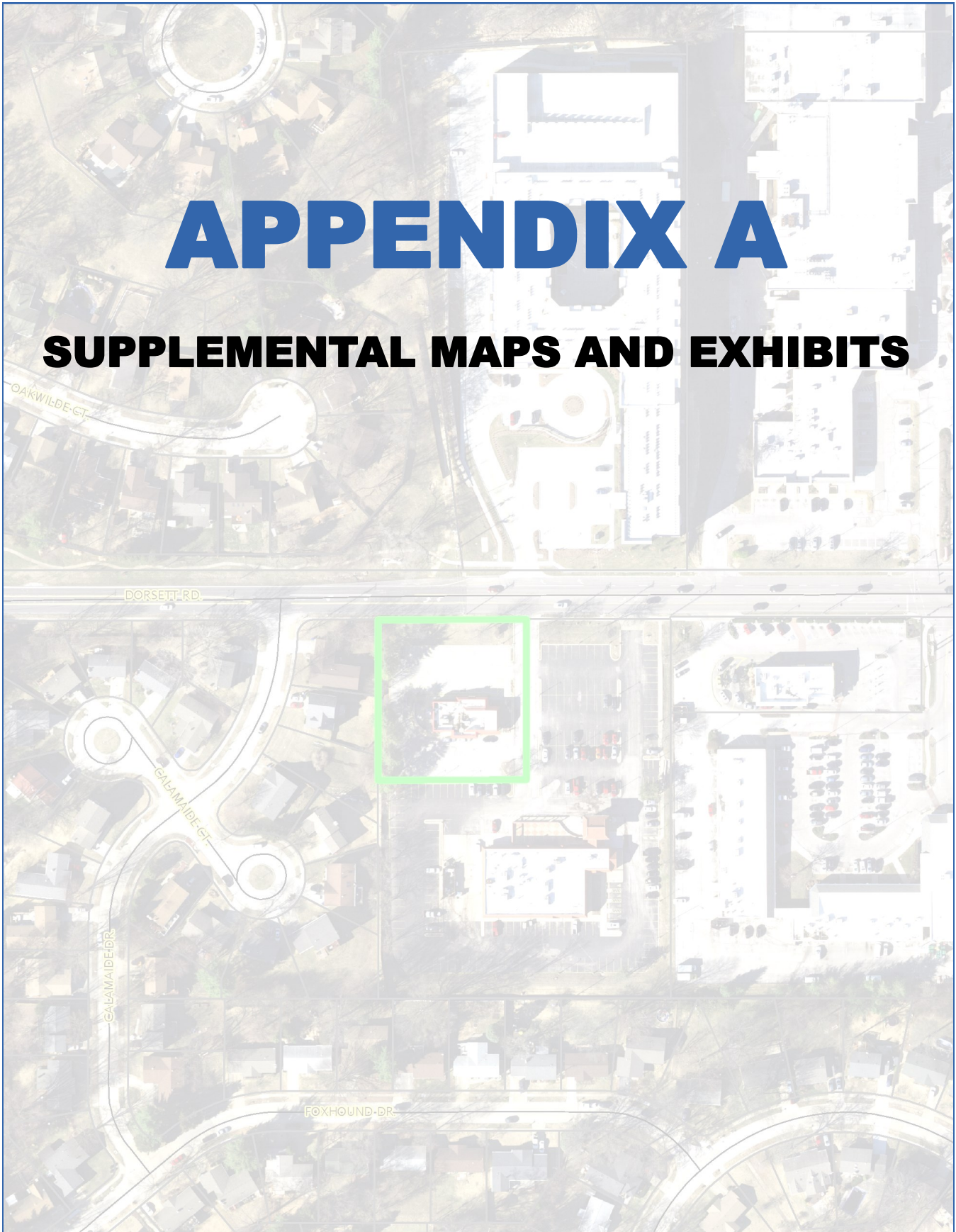
Erin LoRusso, AICP
City Planner



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APPENDIX A

SUPPLEMENTAL MAPS AND EXHIBITS



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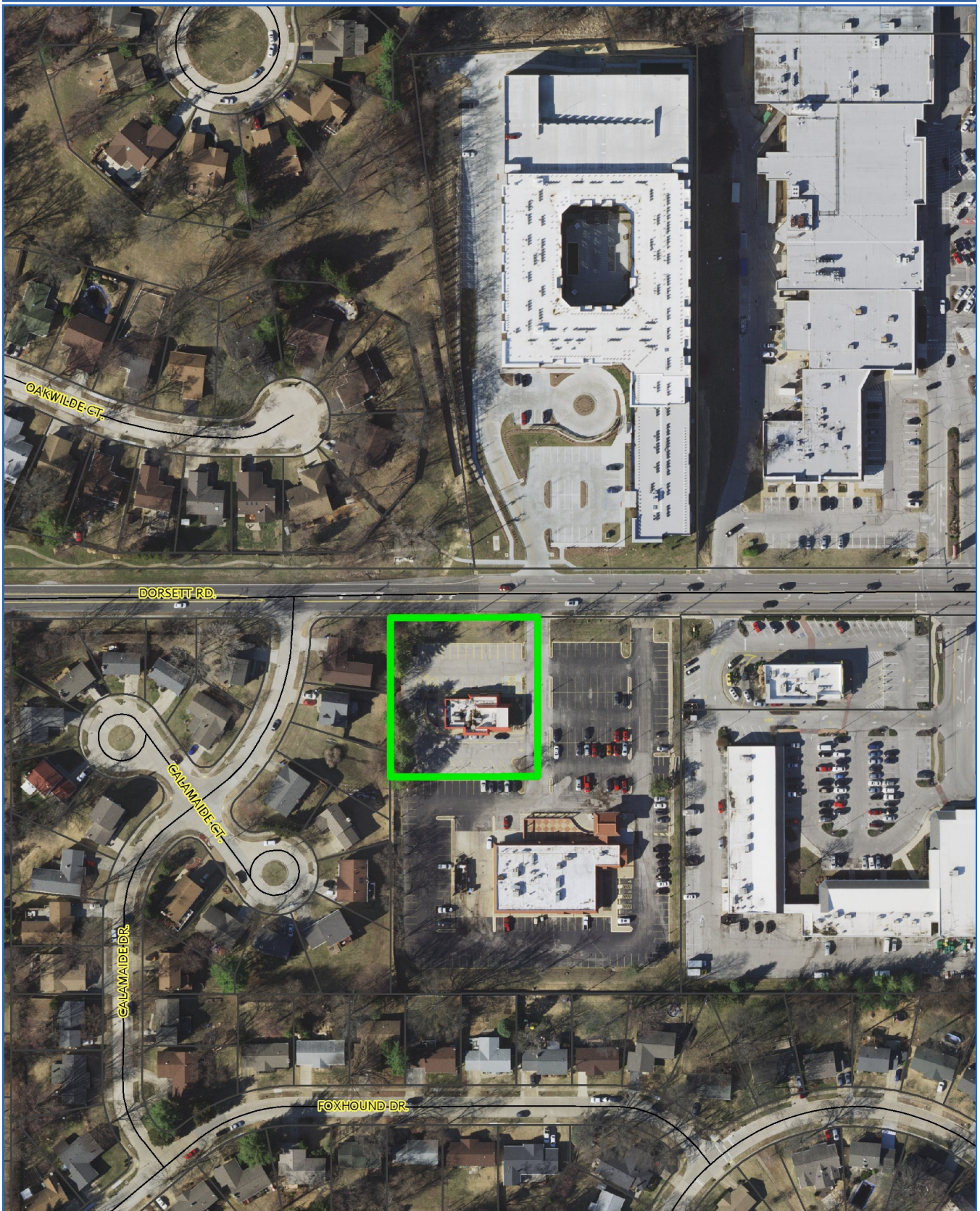


FIGURE 1: AERIAL PHOTOGRAPH



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AGRICULTURAL	INDUSTRIAL	RESIDENTIAL (MFD)	UTILITY
BUSINESS	INSTITUTIONAL	RESIDENTIAL (SFD)	VACANT LAND
COMMERCIAL	RECREATIONAL	TRANSPORTATION	

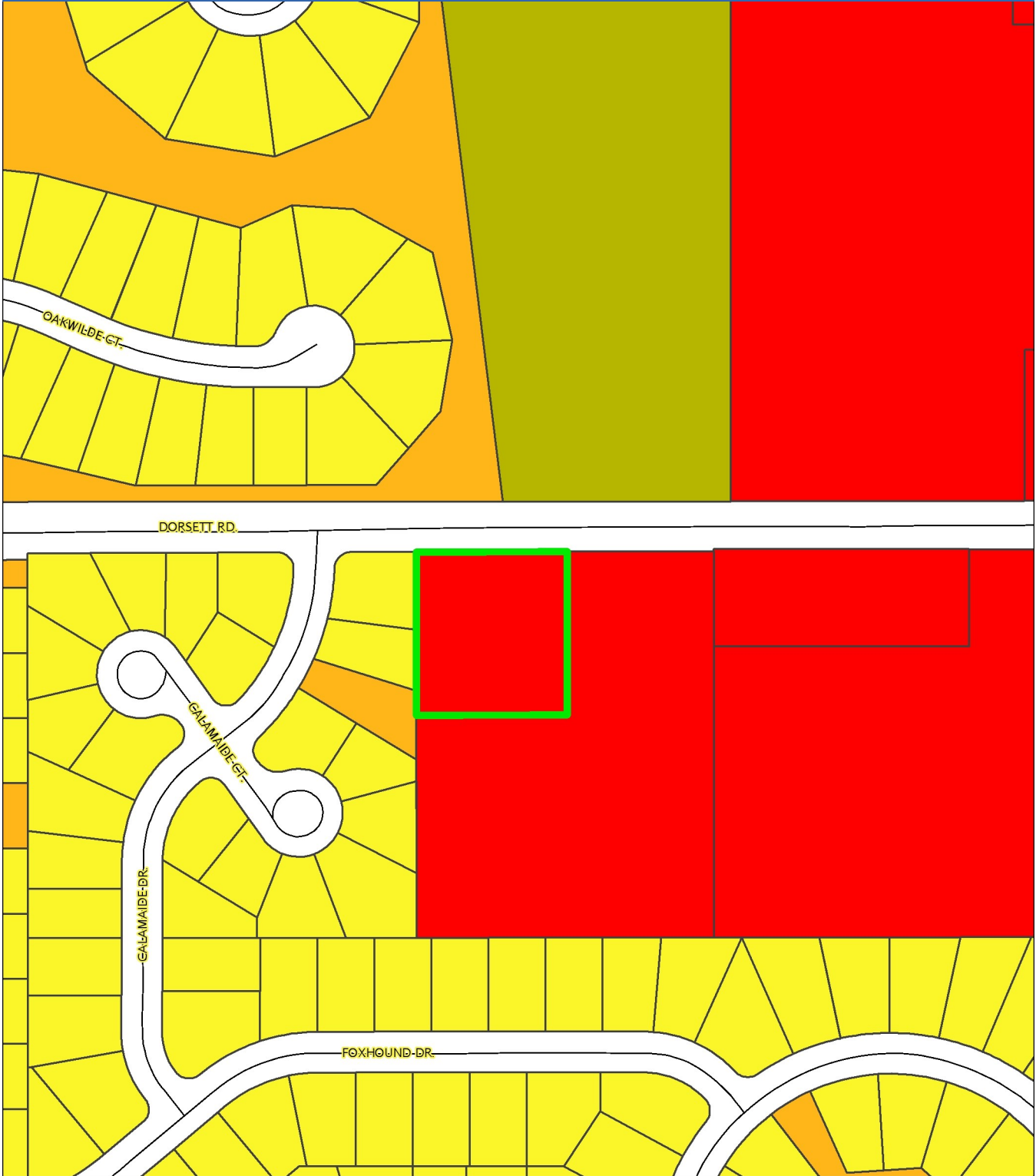


FIGURE 2: EXISTING LAND USE PATTERN

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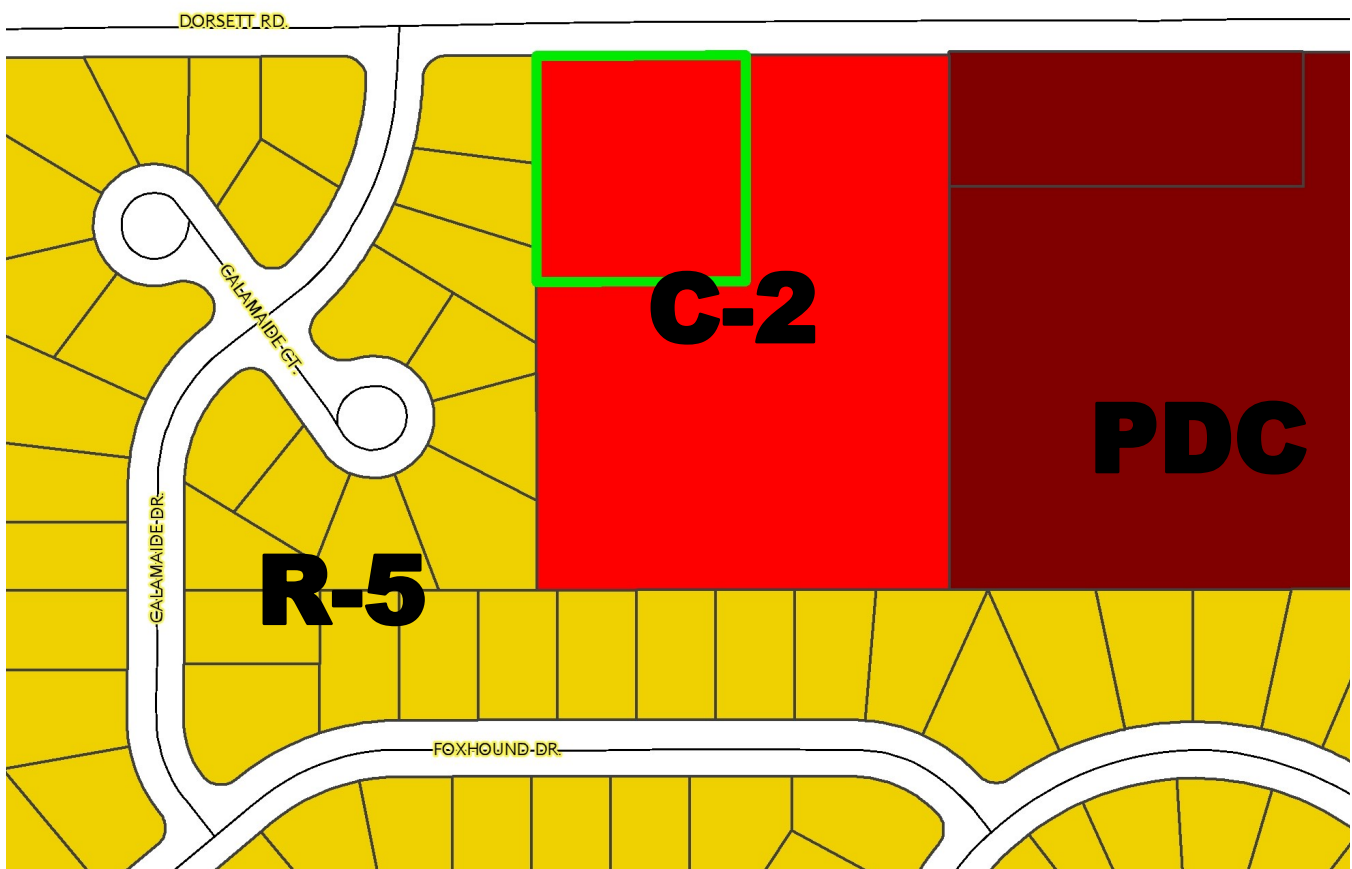
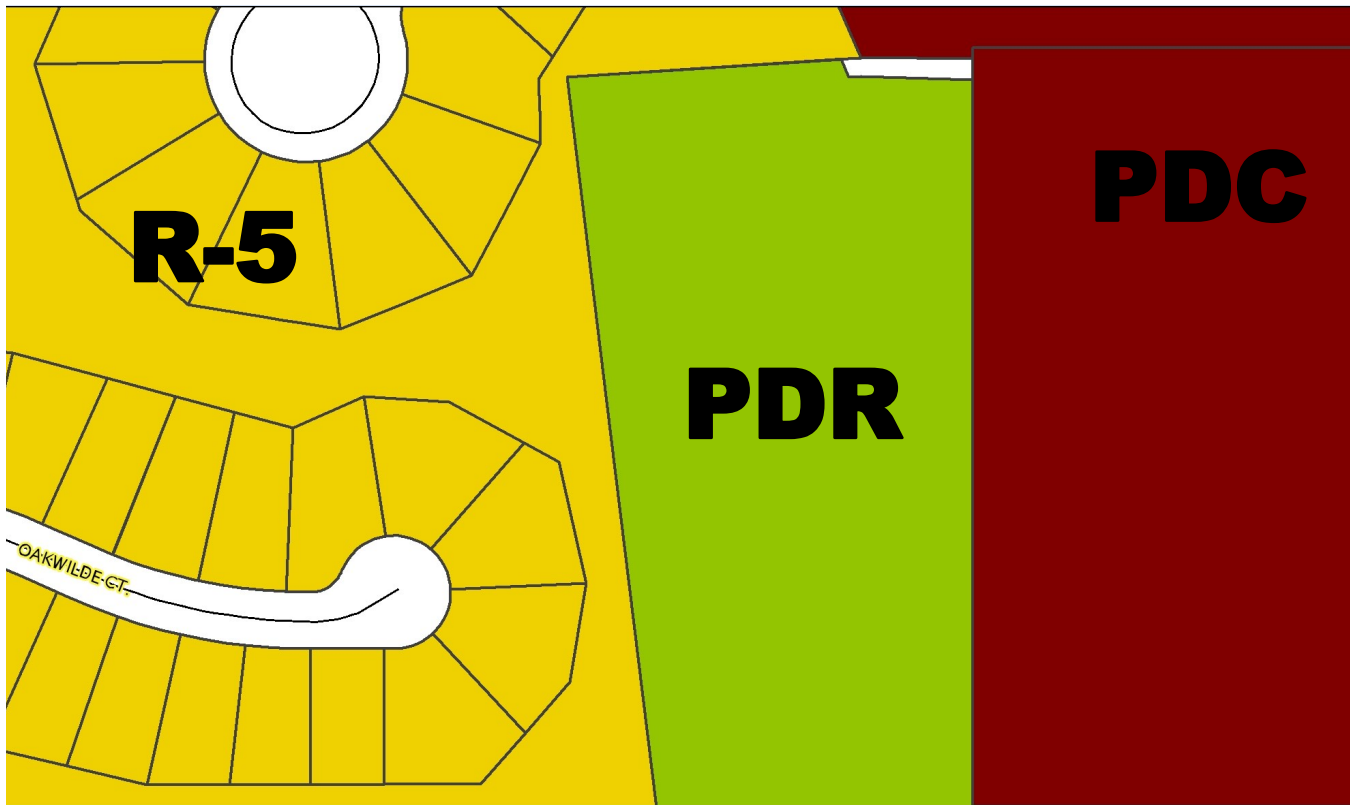


FIGURE 3: ZONING MAP

I. PERMITTED USES

- A. All permitted land uses in the “C-2” General Commercial District shall be permitted.
- B. Fast Food Restaurant with Drive Through Services (LUC #722517) and Outdoor Restaurant Seating (LUC #722000) shall be permitted, subject to the limitations set forth in this ordinance.

II. FINAL DEVELOPMENT PLAN REQUIREMENTS

- A. Within ninety (90) days of the date of approval of the Conditional Use Permit Ordinance by the City Council, and prior to issuance of a building permit, the applicant shall submit to the City Planner for review and approval a Final Site Plan. Where due cause is shown by the applicant, the time interval may be extended by the City Planner.
- B. The Final Site Plan shall meet the requirements of Section 25-5.14, Final Site Plan, of the Zoning Code.
- C. At the discretion of the City Planner, portions of the site improvement plans may serve as the Final Site Plan and be approved as such.

III. SITE IMPROVEMENT PLANS

- A. Site improvement plans shall be required prior to and/or in conjunction with the building permit application.
- B. No building permits, other than demolition permits, shall be issued prior to approval of the site improvement plans.
- C. Plan review shall be in accordance with Article 4, Site Plan Review, of the Zoning Code.
- D. Site improvement plans shall illustrate compliance with the Municipal Code and the development requirements as set forth herein.
- E. Prior to approval of the site improvement plans, verification of any necessary approvals from the St. Louis County Department of Transportation, the Metropolitan St. Louis Sewer District, and Maryland Heights Fire Protection District shall be received by the City Planner and City Engineer.

IV. SPECIFIC DEVELOPMENT REQUIREMENTS

- A. Structure Setbacks - No new structure, except dumpster enclosures, fences, retaining walls, light standards, signage or other structures as otherwise approved by the City Planner shall be in accordance with the Yard Requirements of the “C-2” General Commercial District.
- B. Parking Setbacks – Setbacks for parking, loading, and internal drives shall be in accordance with Article 14, Parking and Loading Regulations, of the Zoning Code.
- C. Access and Roadway Improvements
 - 1. Access to the site from Dorsett Road shall be limited to one (1) existing thirty (30) foot wide, full access drive, providing shared access to the adjacent parcel southeast of the driveway.
 - 2. Access to this development from Dorsett Road shall be as directed by the Saint Louis County Department of Transportation and future improvements shall be constructed to Saint Louis County standards.

3. The developer shall provide right-of-way dedications as directed by Saint Louis County Department of Transportation.
 4. The developer shall provide adequate temporary off-street parking for construction employees. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.
 5. Walkways
 - a. A designated pedestrian walkway or walkways shall be provided between the building and the public sidewalk along Dorsett Road, unless determined practically infeasible by the Building Commissioner and City Engineer.
 - b. The purpose of the walkway(s) shall be to:
 - i. Encourage pedestrian safety by clearly denoting the safest path of travel.
 - ii. Alert motorists to pedestrian movements.
 - c. The location and design of the walkway(s) shall be subject to the review and approval of the City Planner on the Final Site Plan.
 - d. The walkway shall conform to St. Louis County ADA Standards.
- D. Building Design – Building design shall be in accordance with Article 13, Building Design Standards, of the Zoning Code. Additionally:
1. The building shall be designed in a manner generally consistent with the exhibits included in the City Planner’s Report to the Planning Commission for CUP24-0004 dated April 17, 2024. Substantial deviations shall be subject to the review and approval of the Planning Commission.
 2. The building height requirements shall be in accordance with those of the “C-2” General Commercial District.
- E. Parking and Loading
1. Parking spaces, loading spaces, and internal drives shall be in accordance with Article 14, Parking and Loading Regulations, of the Zoning Code, except as follows:
 - a. Parking shall be consistent with the Preliminary Development Plan submitted for Application CUP24-0004. Substantial deviations are subject to the review and approval of the Planning Commission.
 2. The outside storage or parking of vehicles unrelated to the permitted uses on the site shall be prohibited.
- F. Signs – Signs shall be erected in accordance Article 15, Sign Regulations, of the Zoning Code except as follows:
1. The developer shall submit a Sign Package in accordance with Article 15 of the Zoning Code for review and approval of the City Planner.

2. Installation of Landscaping and Ornamental Entrance Monument or Identification Signage construction shall be reviewed by the Saint Louis County Department of Highways and Traffic for sight distance consideration and approved prior to installation or construction.
 3. Other than temporary signs installed under approved temporary sign permits, the use of portable signs is specifically prohibited.
- G. Landscaping - Landscaping shall be provided in accordance with the provisions of Article 16, Landscaping Design Standards, of the Zoning Code except as follows:
1. Landscaping and hardscaping shall be designed in a matter generally consistent with the exhibits included in the City Planner's Report to the Planning Commission for Application CUP24-0004 dated April 17, 2024. Substantial deviations shall be subject to the review and approval of the Planning Commission.
 2. The developer shall install and maintain the maximum screening possible on the Property's western boundary as to screen the use from the residential dwellings adjacent and to the site's west, subject to the review and approval of the City Planner. Said screening shall be sight-proof fencing and/or landscaping.
 3. Three (3) Versa Lok piers shall be installed per the exhibits included in the City Planner's Report to the Planning Commission for Application CUP24-0004 dated April 17, 2024. The location of the piers shall be subject to the review and approval of the City Planner and St. Louis County Department of Transportation. In the event a vehicle destroys a pier, it shall be reinstalled per the exhibits included in the aforementioned City Planner's Report.
- H. Lighting – Exterior lighting shall be provided in accordance with the provisions of Article 18, Lighting Design Standards, of the Zoning Code.
- I. Screening of Dumpsters and Recycling Containers – All dumpsters and recycling containers shall be screened from view in accordance with the requirements of Section 25-25.4, Screening of Outdoor Storage, Mechanical Equipment, and Utilities, of the Zoning Code.
- J. Utilities and Mechanical Equipment
1. Any new permanent electrical, telephone, data transmission and distribution lines shall be installed underground within the Planned District.
 2. Mechanical equipment and above ground utility boxes, meters, or similar items shall be screened in accordance with the provisions of Section 25-25.4, Screening of Outdoor Storage, Mechanical Equipment, and Above Ground Utilities, of the Zoning Code.
- K. Stormwater – Adequate provisions shall be made for the disposal of stormwater, in accordance with the specifications and standards of the Metropolitan St. Louis Sewer District.
- L. Sanitary Sewers – Sanitary sewer facilities shall be provided in accordance with the requirements of the Metropolitan St. Louis Sewer District.

V. USE LIMITATIONS

The Fast Food Restaurant with Drive Through Services (LUC #722517) and Outdoor Restaurant Seating (LUC #722000) shall be further limited as follows:

- A. The use shall comply with the applicable portions of Article 23, Motor Vehicle Oriented Businesses, of the Zoning Code except as follows:
 - 1. Parking spaces shall be designed in a manner generally consistent with the exhibits included in the City Planner’s Report to the Planning Commission for Application CUP24-0004 dated April 17, 2024. Substantial deviations shall be subject to the review and approval of the Planning Commission and shall meet, to the maximum extent possible, the requirements of Article 23, Motor Vehicle Oriented Businesses, of the Zoning Code and Article 14, Parking and Loading Regulations, of the Zoning Code.
 - 2. A minimum parking stall width of nine (9) feet shall be permitted.
 - 3. A parking stall and/or area dedicated for a delayed order pick-up shall not be required unless otherwise later required by the City Planner.
- B. Noise levels, as measured at adjoining residential property lines, and regulated under the St. Louis County Noise Control Code shall conform to the requirements of the Code, subject to the review of the St. Louis County Department of Health.
- C. The outdoor restaurant seating shall be located on the east side of the building.
- D. With the exception of incidental signage, no signage or other form of advertising shall be allowed in the outdoor dining area.
- E. The outdoor seating area shall close no later than 9:00 p.m.
- F. The outdoor seating area shall be enclosed by a fence, architecturally compatible with the building, subject to the review and approval of the City Planner.

VI. GENERAL LIMITATIONS

- A. Penalties for failure to submit a Final Site Plan, noncompliance, and abandonment shall be governed by Section 25-5.17, Time Limit of Conditional Use Permit.
- B. In the event of a disagreement between any owner/operator and the City Planner as to whether the use of the site meets the criteria or conditions set forth in this ordinance, such disagreement shall be submitted to the Planning Commission for recommendation to the City Council, which shall make the decision on such disagreement, provided the Developer shall have the right to appeal such decision pursuant to Article 9, Variances, of the Zoning Code and to pursue any other available legal or equitable remedy.

VII. MAINTENANCE

- A. The building and site shall be maintained in accordance with the Property Maintenance Code.
- B. Landscaped areas shall be maintained in accordance with landscaping shown on the Final Site Plan and/or Site Improvements Plans. Plant materials shall be replaced or replanted as determined by annual inspection of the site by City staff.

VIII. MISCELLANEOUS

- A. Every use, activity, process or operation on the site shall comply with the performance standards prescribed in Article 17, Environmental Standards, of the Zoning Code.

- B. No new business license or occupancy permit for the conditional use(s) permitted herein shall be approved in connection with a change of owner/operator or expansion without verification by the City Planner that the use of the site will continue to meet the conditions of Section 25-5.8, Burden of Proof, of the Zoning Code.

Section 3: This Ordinance shall be in full force and effect from and after its passage and approval.

PASSED BY THE CITY COUNCIL THIS _____ DAY OF _____ 2024.

MAYOR/PRESIDING OFFICER

APPROVED BY THE MAYOR THIS _____ DAY OF _____ 2024.

MAYOR

ATTEST:

CITY CLERK

PLANNING COMMISSION RESOLUTION NO. 2024-6

**A RESOLUTION ADOPTING FINDINGS AND CONCLUSIONS FOR CONDITIONAL USE PERMIT
APPLICATION CUP24-0004, STARBUCKS, AT 12730 DORSETT ROAD**

WHEREAS, the City of Maryland Heights has a Comprehensive Plan which guides the future growth and development in the community; and

WHEREAS, the City of Maryland Heights has a Zoning Code which regulates and controls the zoning and use of land and buildings in the City to promote the public safety, health, and general welfare of the citizens; and

WHEREAS, Article 5 of the Zoning Code sets forth the burden of proof criteria for Conditional Use Permits; and

WHEREAS, Adam Hartig, representing Clay Adams Dorsett, LLC applied for a Conditional Use Permit for a Fast Food Restaurant with Drive Through Services and Outdoor Restaurant Seating at 12730 Dorsett Road; and

WHEREAS, the Planning Commission held a public hearing on April 9, 2024 to consider the request.

THE PLANNING COMMISSION OF THE CITY OF MARYLAND HEIGHTS, MISSOURI, FINDS:

1. The conditional use advances the goals of the Comprehensive Plan, advances the purpose and intent of the underlying zoning district, and meets the requirements contained in the Zoning Code for the specific use;
2. As the site was previously developed with a legally preexisting and non-conforming fast food restaurant, insubstantial deviations from the Zoning Code are appropriate given the site will be in greater conformance with the Zoning Code;
3. The conditional use can be operated in a manner that is not detrimental to the permitted developments and uses in the district, subject to the conditions of the draft ordinance;
4. The conditional use can be developed and operated in a manner that is visually compatible with the permitted uses in the surrounding area, subject to the conditions of the draft ordinance;
5. Adequate facilities exist to support the conditional use at this location; and
6. The Conditional Use Permit will preserve and promote the public health, safety, and general welfare of the City of Maryland Heights.

NOW, THEREFORE, be it resolved by the Planning Commission of the City of Maryland Heights that Application CUP24-0004, Starbucks, satisfies the burden of proof criteria of Section 25-5.8 of the Zoning Code.

PASSED BY THE PLANNING COMMISSION THIS 23RD DAY OF APRIL 2024.

CHAIRMAN

SECRETARY OF THE BOARD

ATTEST:

RECORDING SECRETARY

CITY OF MARYLAND HEIGHTS PLANNING COMMISSION

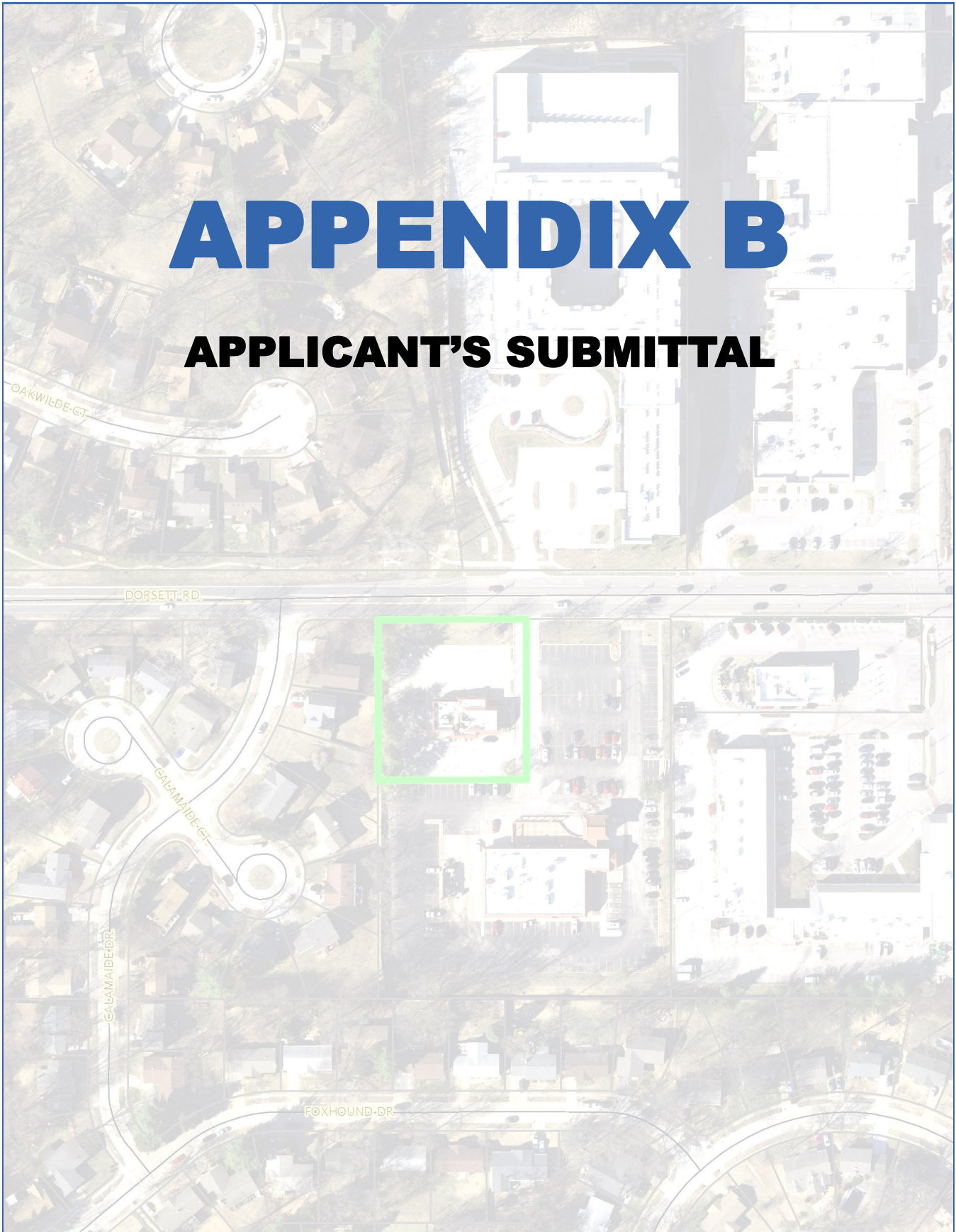
Resolution No. 2024-6

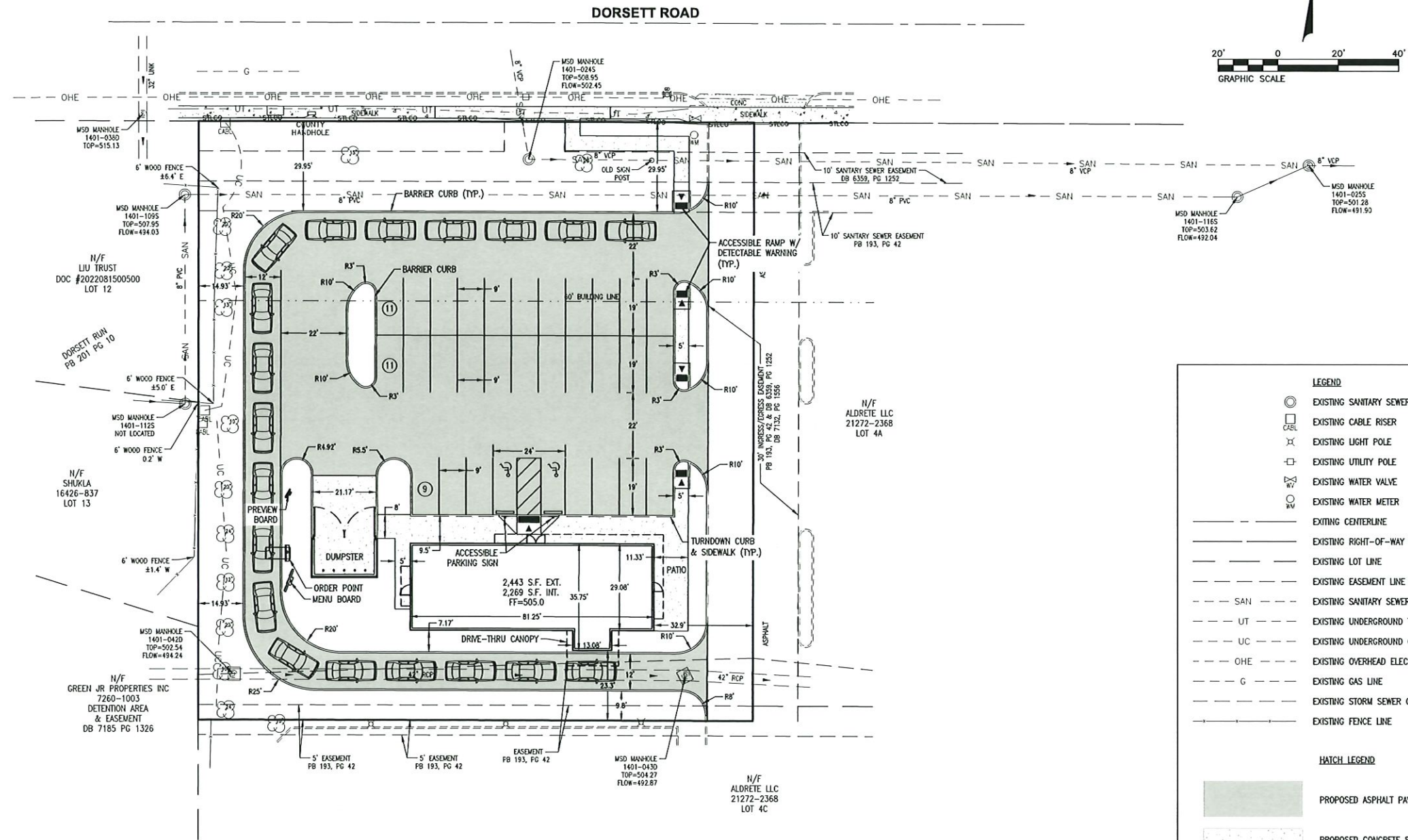
Page 1 of 1



APPENDIX B

APPLICANT'S SUBMITTAL





PARKING SPACES PROVIDED	
STANDARD PARKING SPACES (9' X 19')	29 SPACES
ACCESSIBLE SPACE	2 SPACE
TOTAL PARKING SPACES PROVIDED	31 SPACES
DRIVE THRU STACKING: 19 VEHICLES	

NOTE:
 ALL RADIUS DIMENSIONS SHOWN ARE TO THE BACK OF THE CURB.
 NO RETAINING WALLS ON PROJECT.
 SIDEWALKS CONSTRUCTED OUTSIDE OF SUBJECT PARCEL ARE TO BE MAINTAINED BY THE CITY OF MARYLAND HEIGHTS.

LEGEND

- EXISTING SANITARY SEWER MANHOLE
- EXISTING CABLE RISER
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING CENTERLINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING LOT LINE
- EXISTING EASEMENT LINE
- EXISTING SANITARY SEWER LINE
- EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING UNDERGROUND CABLE LINE
- EXISTING OVERHEAD ELECTRIC
- EXISTING GAS LINE
- EXISTING STORM SEWER CULVERT
- EXISTING FENCE LINE

HATCH LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK /DUMPSTER PAD

LINE LEGEND

- PROPOSED BOUNDARY LINE
- EXISTING EASEMENT
- EXISTING RIGHT OF WAY
- EXISTING BOUNDARY LINE

DEVELOPER:
 CLAY ADAMS
 CLAY ADAMS REALTY, LLC
 127 WEST JEFFERSON AVENUE
 KIRKWOOD, MO 63122
 314-826-2982

ARCHITECT:
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CONTRACTOR:
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 4308 STATE HIGHWAY 162
 GRANITE CITY, IL 62041

PROJECT INFO:
 NEW RESTAURANT
 12730 DORSETT ROAD
 MARYLAND HEIGHTS,
 MO 63043

PROJECT NO:
 2023-45

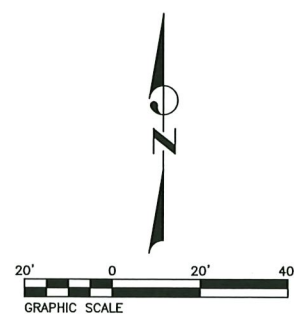
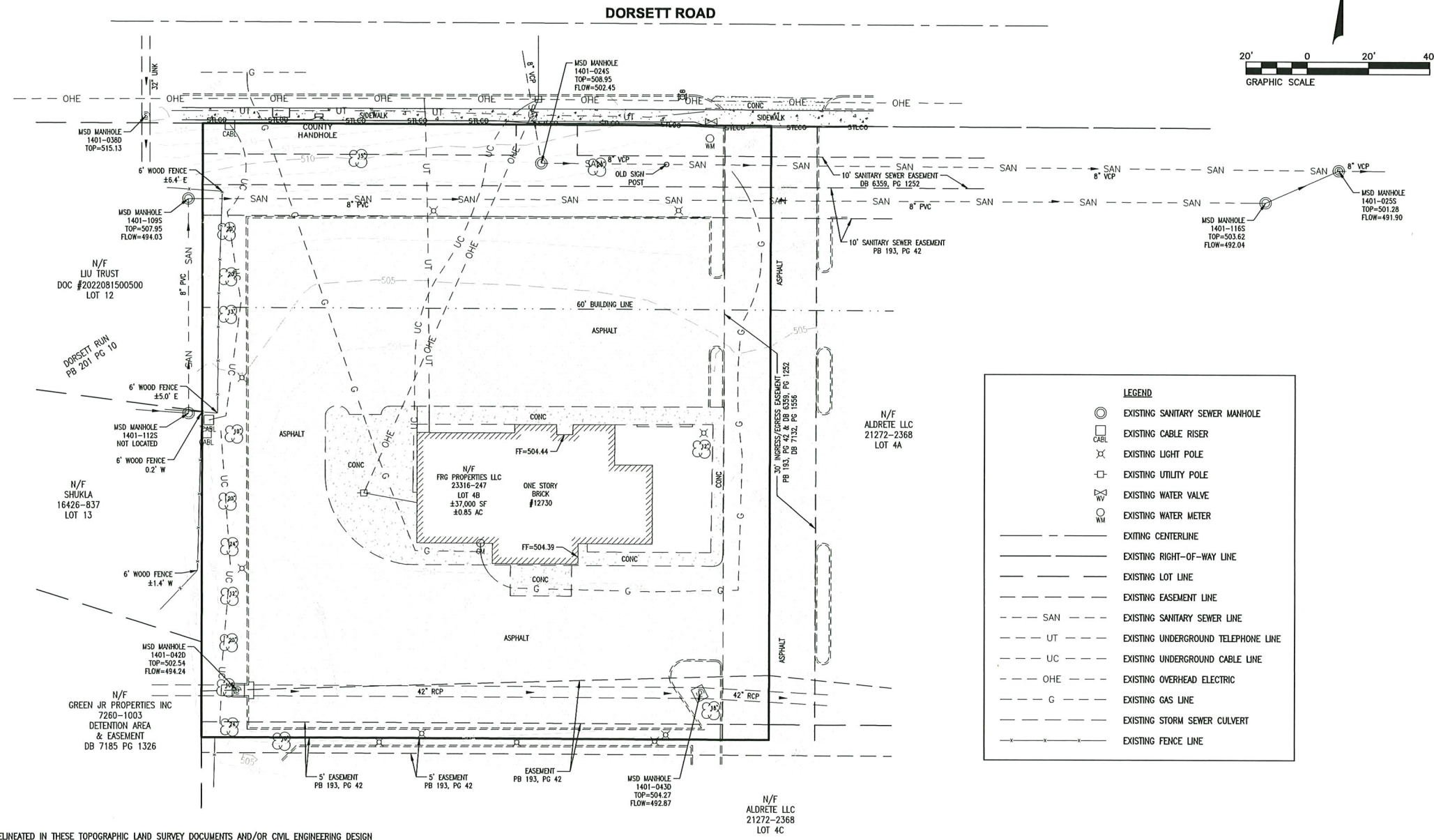
REVISIONS:
 NO. DESCRIPTION DATE:

DATE:
 MARCH 8, 2024

SITE PLAN

SHEET NUMBER:
 C2.0

PRELIMINARY PLANS: MARCH 8, 2024



DEVELOPER:

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 CLAY ADAMS REALTY, LLC
 177 WEST JEFFERSON AVENUE
 KIRKWOOD, MO 63122
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THE BEND ARCHITECTURAL GROUP, LLC
 MISSOURI STATE CERTIFICATE OF AUTHORITY # A-00046

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PROJECT INFO:
NEW RESTAURANT
12730 DORSETT ROAD
MARYLAND HEIGHTS,
MO 63043

PROJECT NO:
 2023-45

REVISIONS:

NO.	DESCRIPTION	DATE

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DATE:
 MARCH 8, 2024

EXISTING TOPOGRAPHY

SHEET NUMBER:
C1.0

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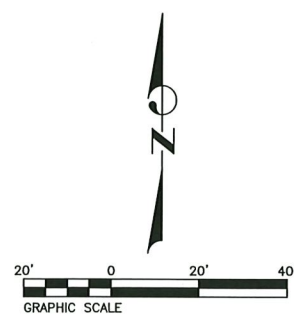
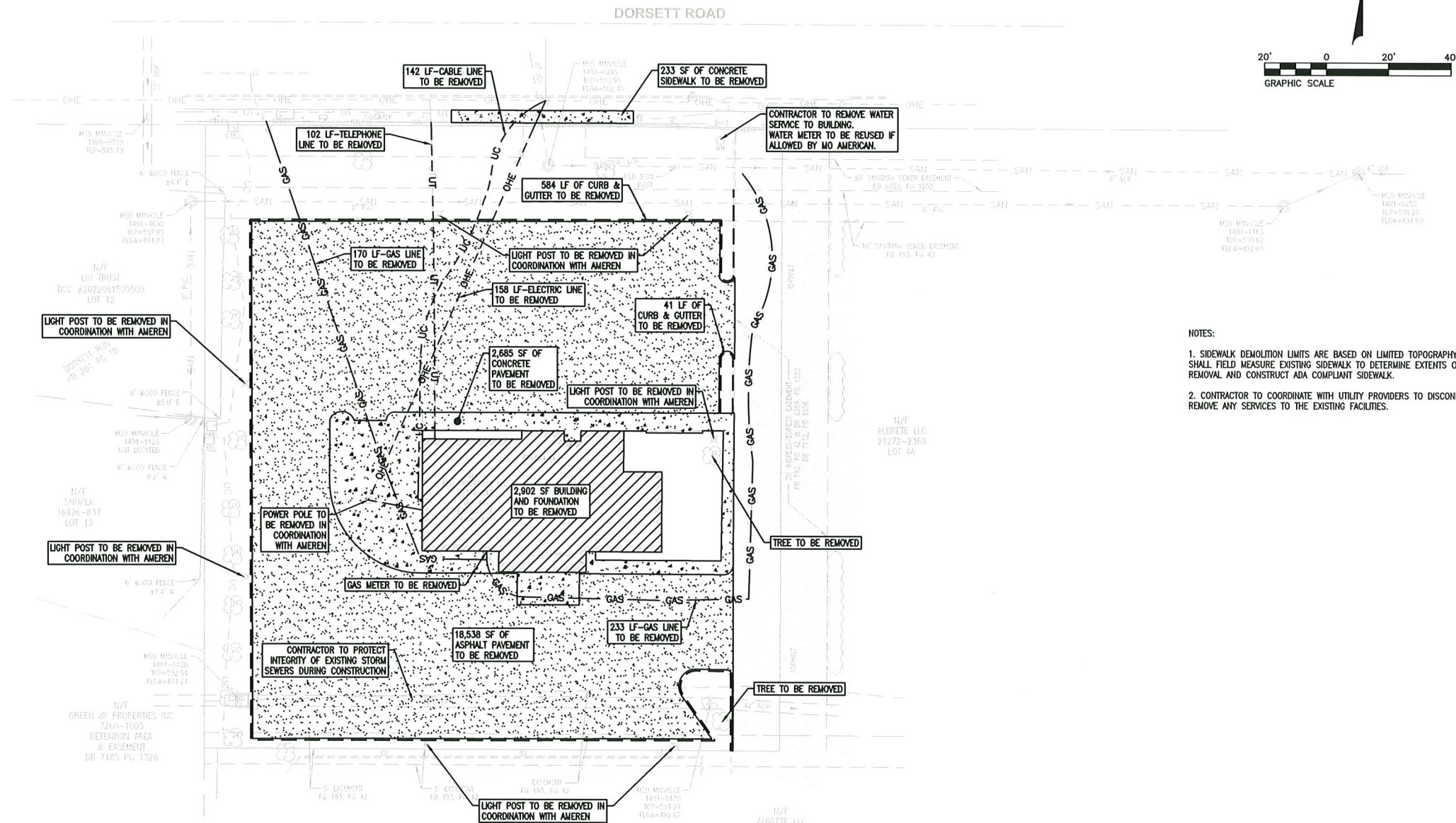
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TITLE DISCLAIMER

IT IS NOT WARRANTED THAT THESE DRAWINGS CONTAIN COMPLETE INFORMATION REGARDING EASEMENTS, RESERVATIONS, RESTRICTIONS, RIGHTS-OF-WAY, BUILDING LINE SETBACKS, AND OTHER ENCUMBRANCES. FOR COMPLETE INFORMATION, A TITLE OPINION OR COMMITMENT FOR TITLE INSURANCE SHOULD BE OBTAINED AND THOROUGHLY REVIEWED.

TOPOGRAPHIC SURVEY DISCLAIMER

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NOTES:

1. SIDEWALK DEMOLITION LIMITS ARE BASED ON LIMITED TOPOGRAPHY. CONTRACTOR SHALL FIELD MEASURE EXISTING SIDEWALK TO DETERMINE EXTENTS OF SIDEWALK REMOVAL AND CONSTRUCT ADA COMPLIANT SIDEWALK.
2. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS TO DISCONNECT AND REMOVE ANY SERVICES TO THE EXISTING FACILITIES.

UTILITY DISCLAIMER

THE TYPE, SIZE, AND LOCATION OF UTILITIES AS DELINEATED IN THESE TOPOGRAPHIC LAND SURVEY DOCUMENTS AND/OR CIVIL ENGINEERING DESIGN DOCUMENTS HAVE BEEN DETERMINED BY REVIEW OF AVAILABLE EXISTING "AS-BUILT" OR RECORD DRAWINGS, FIELD SURVEY OF J.U.L.L.E. MARKED UTILITIES, OR FIELD SURVEY OF ABOVE GROUND SURFACE UTILITY FEATURES. THE OWNER AND ENGINEER HAVE NOT UNDERTAKEN SUBSURFACE EXPLORATORY INVESTIGATIONS TO CONFIRM OR VERIFY THE UTILITIES SHOWN ON THESE DOCUMENTS, THEREFORE THEIR EXACT LOCATION, SIZE AND FUNCTION MUST BE CONSIDERED APPROXIMATE AND MUST BE FIELD CONFIRMED BY THE CONTRACTOR.

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UTILITIES		
WATER:	MO AMERICAN WATER	(866) 430-0820
SANITARY SEWER:	METROPOLITAN SEWER DISTRICT	(314) 768-6260
ELECTRIC:	AMEREN	(800) 552-7583
FIRE DISTRICT:	SPIRE	(314) 621-6960
	MARYLAND HEIGHTS	

DEVELOPER:

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 CLAY ADAMS REALTY, LLC
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ARCHITECT:

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 4338 STATE HIGHWAY 182
 GRANITE CITY, IL 62040

PROJECT INFO:

NEW RESTAURANT
12730 DORSETT ROAD
MARYLAND HEIGHTS,
MO 63043

PROJECT NO:

2023-45

REVISIONS:

NO.	DESCRIPTION:	DATE:

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DATE:
 MARCH 8, 2024

DEMOLITION PLAN

SHEET NUMBER:

C1.1



DEVELOPER:

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 127 WEST EFFERSON AVENUE
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THE BEND ARCHITECTURAL GROUP, LLC
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PROJECT INFO:

NEW RESTAURANT
12730 DORSETT ROAD
MARYLAND HEIGHTS,
MO 63043

PROJECT NO:

2023-45

REVISIONS:

NO.	DESCRIPTION	DATE

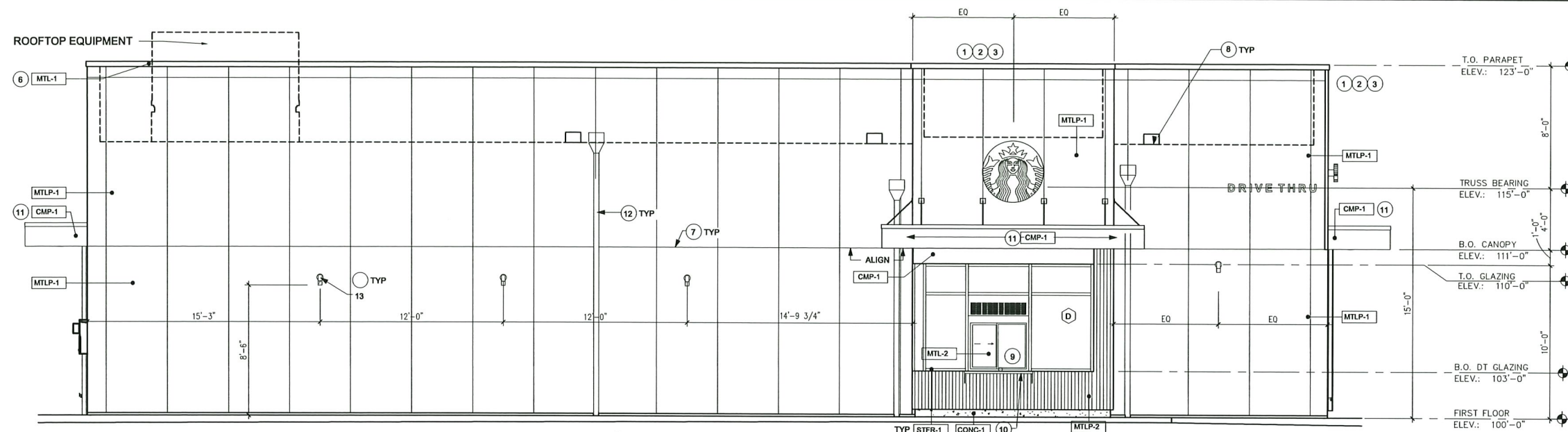
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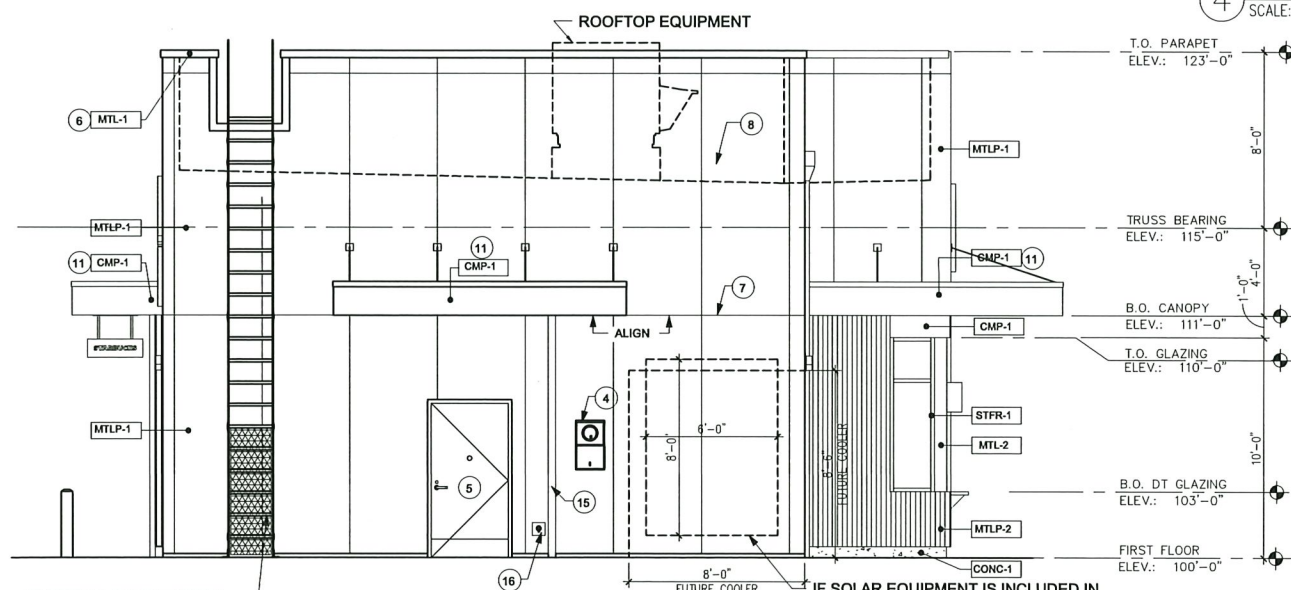
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DATE:
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SHEET NUMBER:



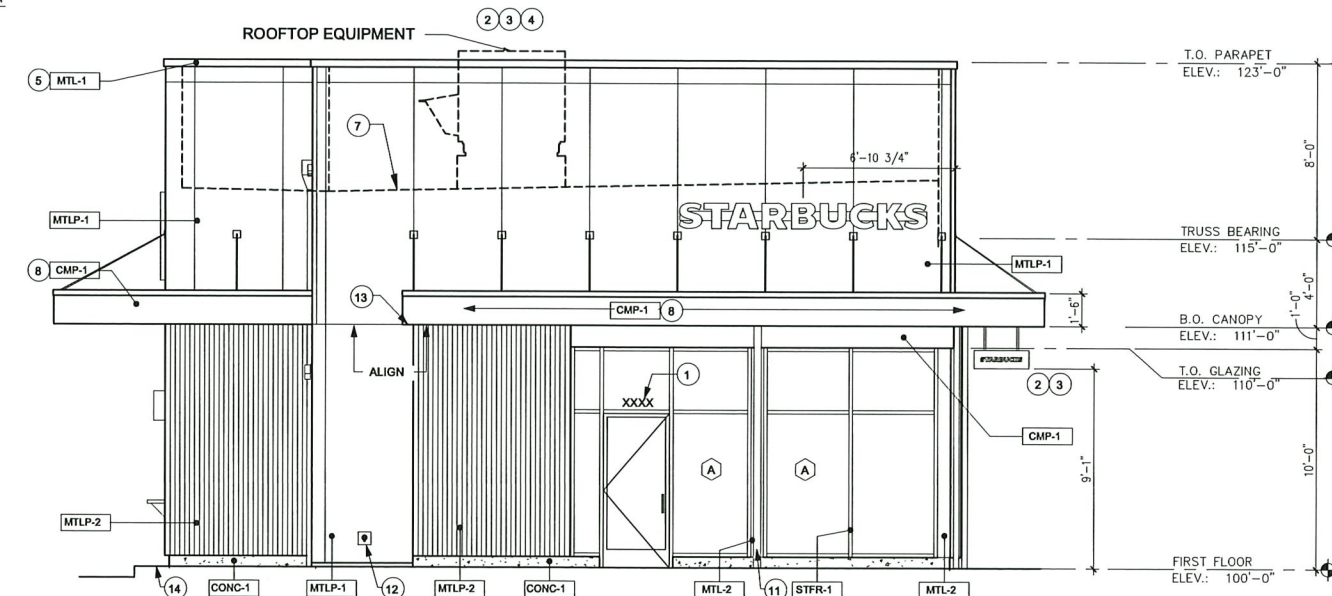
4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



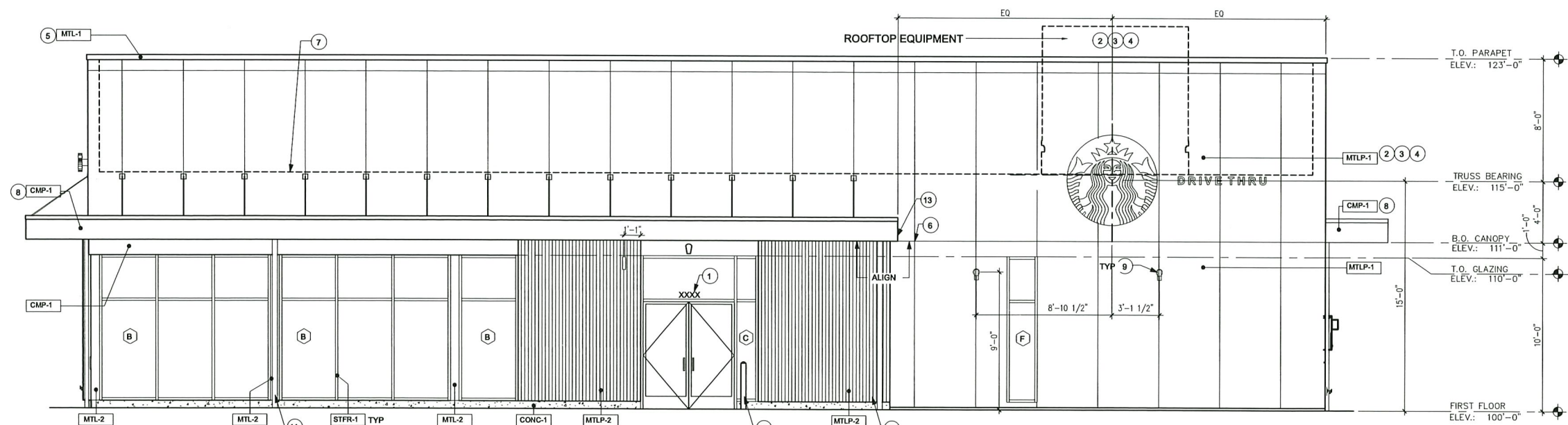
3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

IF SOLAR EQUIPMENT IS INCLUDED IN PROJECT, INCLUDE 8'-0" CLEAR AREAS FOR SOLAR INVERTER, PV LOAD CENTER, PV METER, AND AC DISCONNECT. PROVIDE WALL BLOCKING IN WALL TO FASTEN EQUIPMENT.

EXTERIOR ROOF LADDER W/ LOCKABLE SECURITY GATE



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

DEVELOPER:
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CLAY ADAMS REALTY, LLC
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PROJECT INFO:
NEW RESTAURANT
12730 DORSETT ROAD
MARYLAND HEIGHTS,
MO 63043

PROJECT NO:
2023-45

REVISIONS:

NO.	DESCRIPTION	DATE

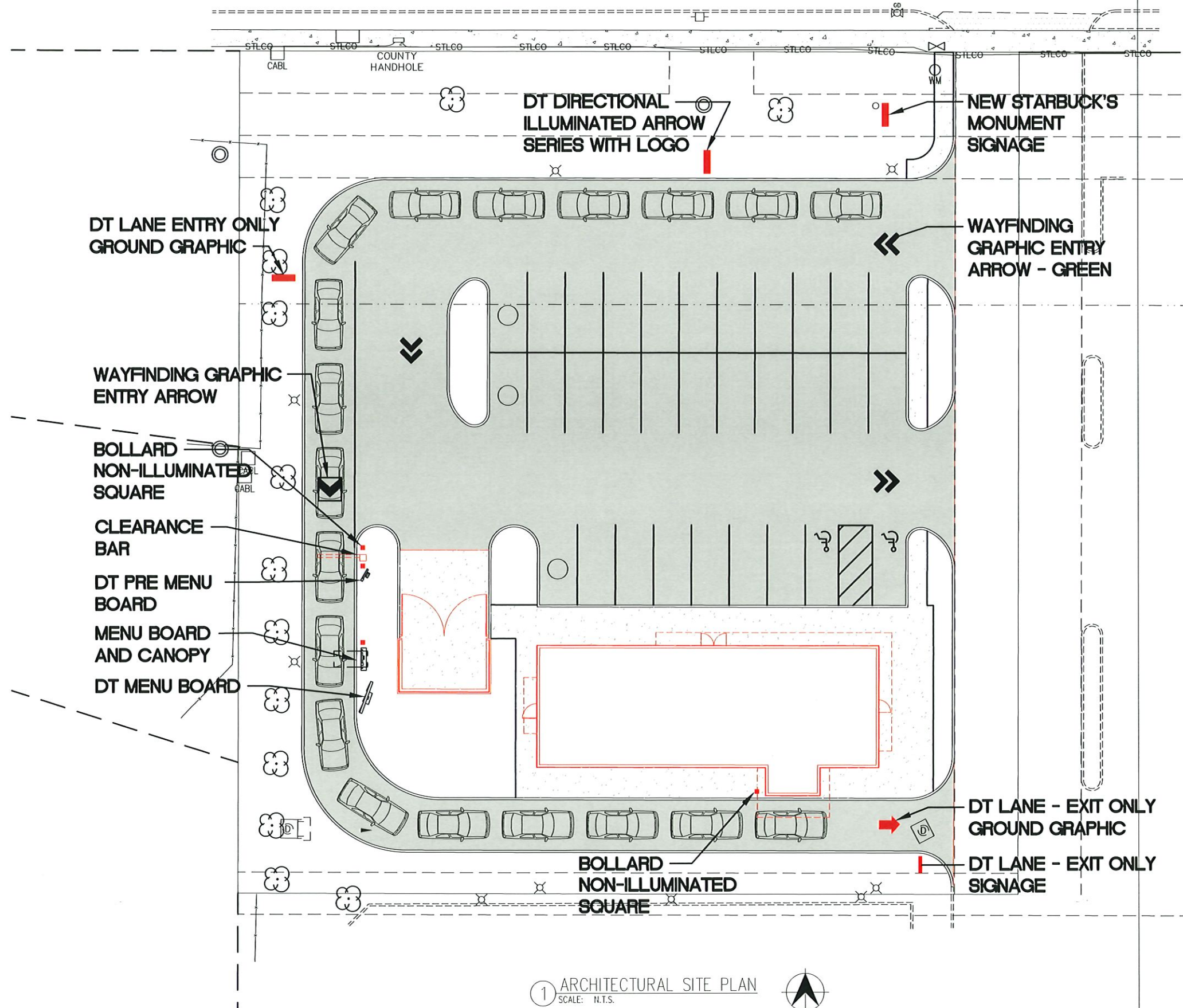
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DATE:
MARCH 11TH, 2024

BUILDING ELEVATIONS

SHEET NUMBER:
A4



1 ARCHITECTURAL SITE PLAN
SCALE: N.T.S.

DEVELOPER:

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PROJECT INFO:

NEW RESTAURANT
12730 DORSETT ROAD
MARYLAND HEIGHTS,
MO 63043

PROJECT NO:
2023-45

REVISIONS:

NO.	DESCRIPTION	DATE

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JERRY GANON, ARCHITECT
REGISTERED ARCHITECT

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DATE:
MARCH 11TH, 2024

ARCHITECTURAL
SITE PLAN

SHEET NUMBER:
A1

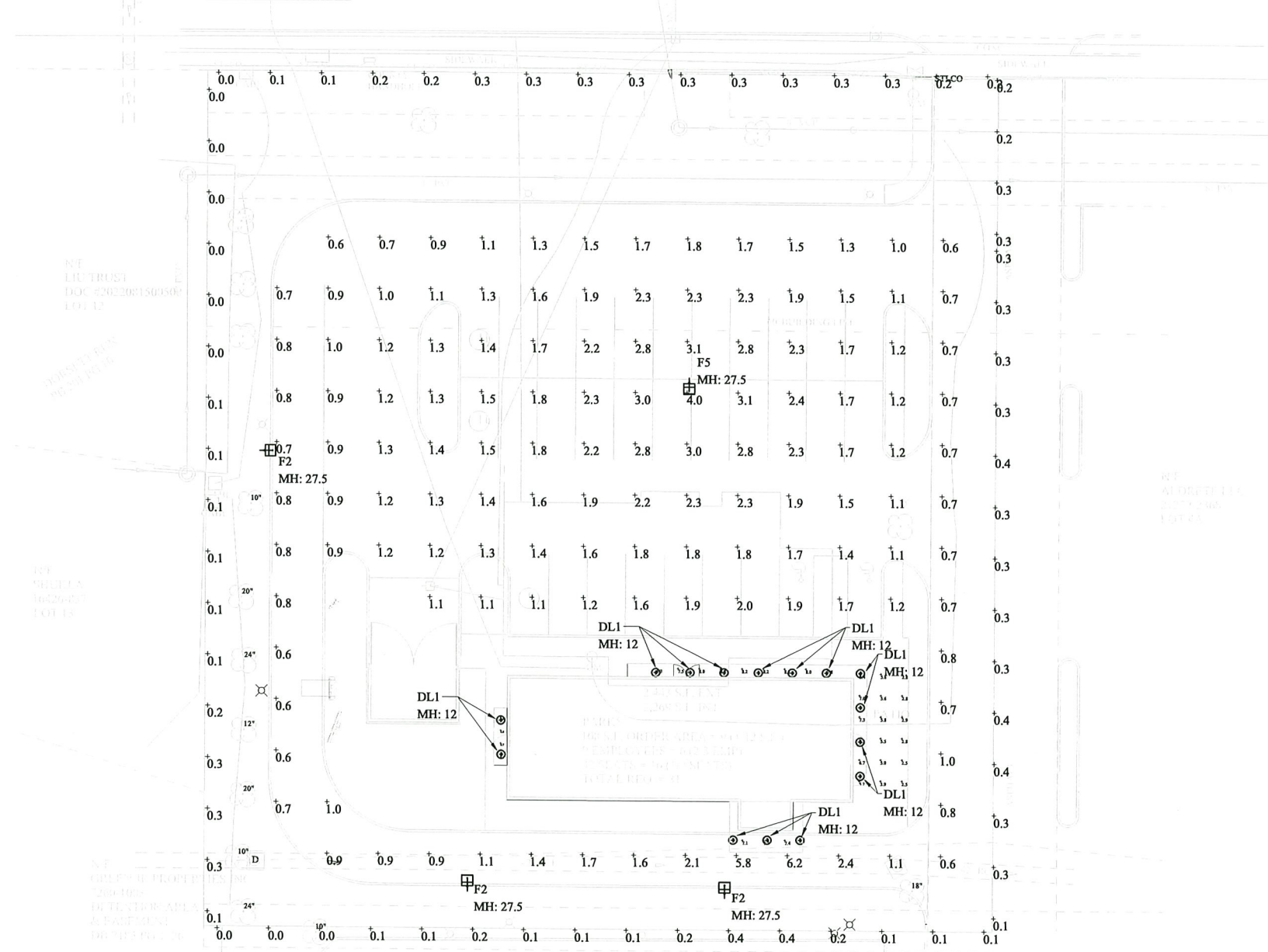
◇ -

**POLE FIXTURES MOUNTED ON 25' POLE & 2.5' BASE
LIGHT LEVEL CALCULATED ON THE GROUND**

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
DRIVE-THRU WINDOW	Illuminance	Fc	7.40	7.7	7.1	1.0	1.1
ENTY SIDEWALK	Illuminance	Fc	7.82	8.2	6.3	1.2	1.3
PATIO	Illuminance	Fc	4.98	8.4	2.5	2.0	3.4
PROPERTY LINE	Illuminance	Fc	0.19	0.4	0.0	N.A.	N.A.
REAR MAN DOOR	Illuminance	Fc	6.33	6.7	5.9	1.1	1.1
SITE	Illuminance	Fc	1.53	6.2	0.6	2.6	10.3

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Lum. Watts	Total Watts	Description
⊕	15	DL1	SINGLE	0.900	13.8	207	RL6LS9FSD2W1EWHDM -1200LM -4000K
⊕	3	F2	SINGLE	0.912	57	171	GALN-SA1C-740-U-T3-HSS
⊕	1	F5	SINGLE	0.912	213	213	GALN-SA4C-740-U-5MQ

DESIGN IS BASED ON CURRENT INFORMATION PROVIDED AT THE TIME OF REQUEST. ANY CHANGES IN MOUNTING HEIGHT OR LOCATION, LAMP WATTAGE, LAMP TYPE, AND EXISTING FIELD CONDITIONS, THAT AFFECT ANY OF THE PREVIOUSLY MENTIONED, WILL VOID CURRENT LAYOUT AND REQUIRE A CHANGE REQUEST AND RECALCULATION.



KEYED NOTES

- CONTRACTOR SHALL ENSURE ALL WORK IS IN CONFORMANCE WITH ALL NATIONAL, STATE, AND LOCAL BUILDING CODES AND LOCAL ENERGY REGULATIONS HAVING JURISDICTION OVER THIS PROJECT. IN THE EVENT OF ANY DISCREPANCIES BETWEEN AGENCY REQUIREMENTS, THE CONTRACTOR SHALL OBSERVE THE MORE STRINGENT OF THE REQUIREMENTS.
- ALL CIRCUIT NUMBERS ARE FOR DESIGN INTENT ONLY. THE CONTRACTOR SHALL VERIFY ALL AVAILABLE CIRCUITS AND ADJUST NUMBERS AS REQUIRED.
- EXTEND UNSWITCHED LIGHTING CIRCUIT SERVING SPACE TO EXIT AND EMERGENCY FIXTURES.
- SEE FIXTURE SCHEDULE ON SHEET E4.0
- SEE EQUIPMENT SCHEDULE ON SHEET 4.0 FOR ELECTRICAL MATERIALS ASSOCIATED WITH MECHANICAL AND PLUMBING WORK.

GENERAL NOTES

- (MINIMUM)
- 1 PHASE BRANCH CIRCUIT WIRE SIZE: (UNLESS NOTED)
- 30 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 2#10, #10 GND IN 1/2" C.
 - 40 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 2#8, #10 GND IN 3/4" C.
 - 60 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 3#4, #8 GND IN 1" C.
 - 100 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 3#3, #8 GND IN 1.25" C.
 - 150 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 3-#1/0 WITH #6 GND IN 1-1/2" C.
- (MINIMUM)
- 3 PHASE BRANCH CIRCUIT WIRE SIZE: (UNLESS NOTED):
- 200 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 4-#3/0 WITH #6 GND IN 1-1/2" C.
 - 100 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 4#3, #8 GND IN 1.5" C.
 - 75 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 4#4, #8 GND IN 1-1/4" C.
 - 70 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 4#3, #8 GND IN 1-1/4" C.
 - 60 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 4#4, #10 GND IN 1.25" C.
 - 45 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 4#4 #10 GND IN 1" C.
 - 40 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 4#6, #10 GND IN 1" C.
 - 30 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 4#10, #10 GND IN 3/4" C.

FEEDER SCHEDULE

ELECTRICAL SITE PLAN
E1.0 SCALE: 1/8"=1'-0"

SEAL:

The Professional Engineer's seal affixed to this sheet indicates that the named Engineer has prepared or directed the preparation of the material shown only on this sheet. Other drawings and documents not exhibiting this seal shall not be considered prepared by or the responsibility of the undersigned.
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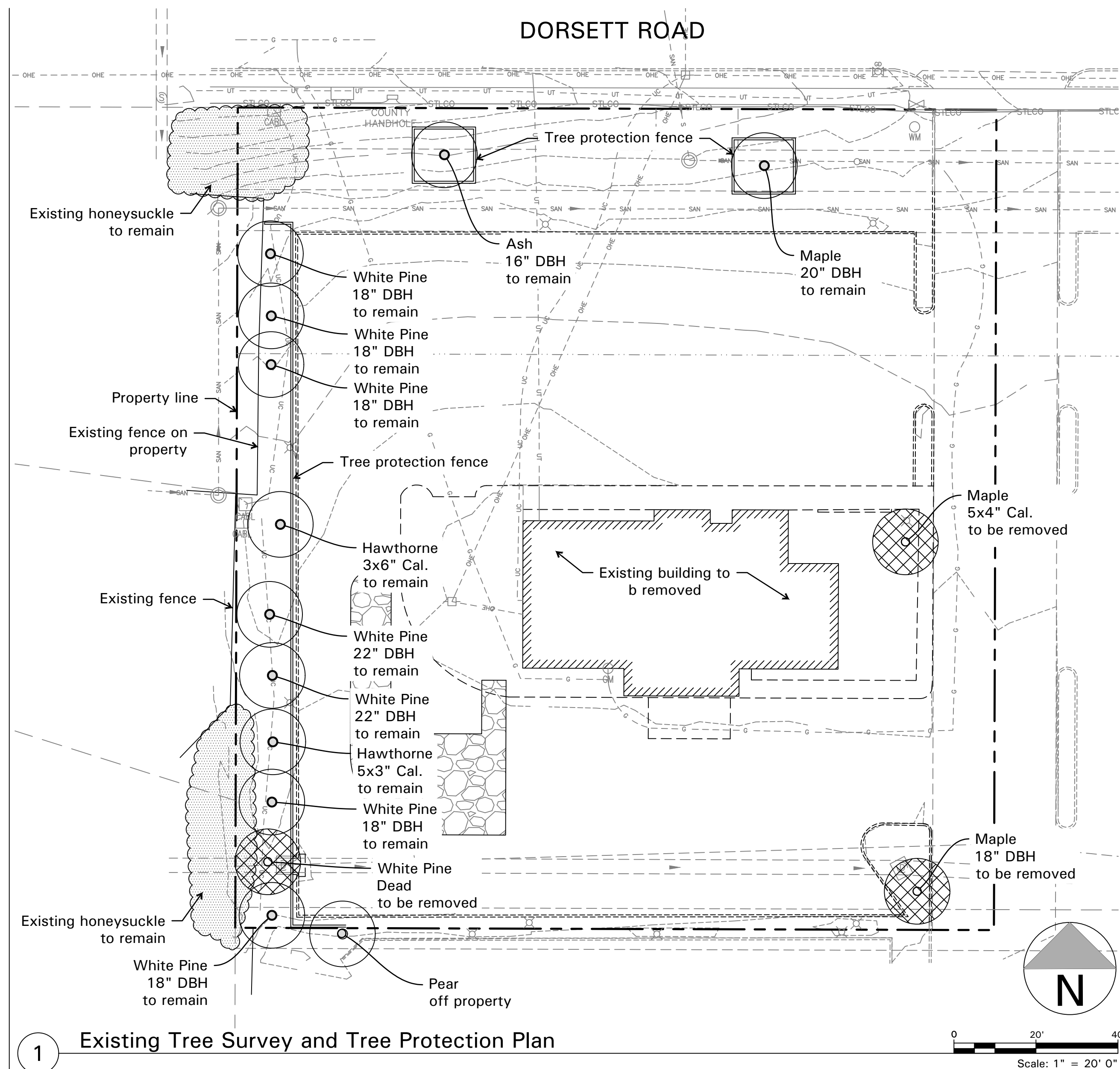
ZION
ZION MEP
ELECTRICAL
MECHANICAL
PLUMBING
TAGOR LARSETT
BRIGHTON, IL 62202
PH: 224-592-6501

**SHELL PACKAGE FOR
FUTURE STARBUCKS**
12780 DORSETT ROAD
MARYLAND HEIGHTS, MO 63043

REVISIONS:	
TAG	DESCRIPTION
0	BID SET 02/28/23

PROJECT #:	JER23001	
DATE:	12/11/23	
CAD	DESIGN	CHECK
EKH	EKH	MJC
SHEET DESCRIPTION:		
ELECTRICAL SITE PLAN		
SHEET NO:		

E1.0



LEGEND:

Symbol	Description
	Existing tree to remain
	Existing tree to be removed
	Tree Protection Fence
	Existing shrubs to remain

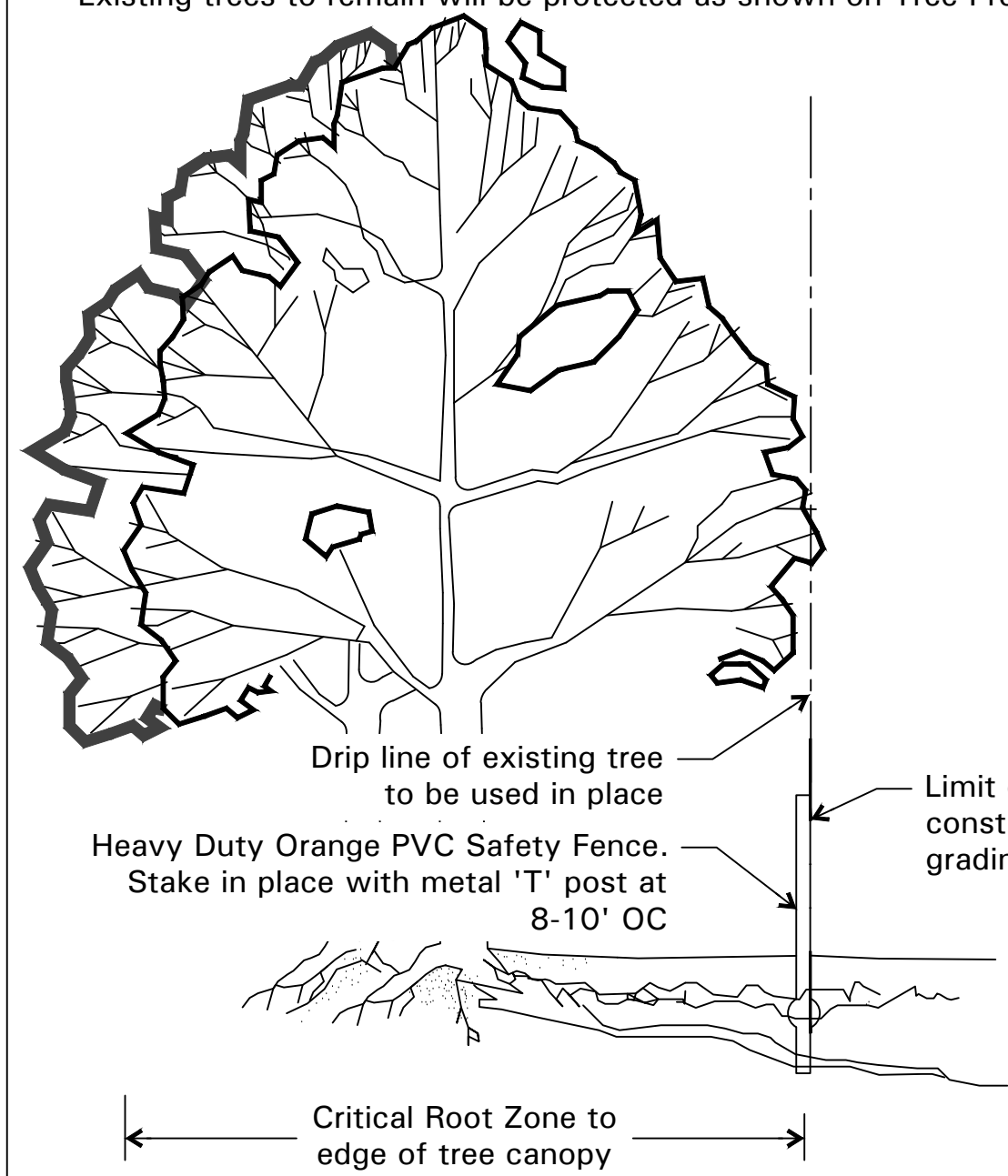
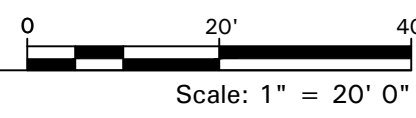
1 Existing Tree Survey and Tree Protection Plan

EXISTING TREE NOTES:
 Seven existing evergreen trees adjoining residential properties are to remain and had been installed as part of the original development and, based on DBH, are +/- 15-20 years old. Within this area are two existing hawthorn trees to remain. One evergreen tree is dead and will be removed.

Two shade trees adjoining Dorsett Road will remain.

One shade tree and one ornamental tree interior to the development will be removed.

Existing trees to remain will be protected as shown on Tree Preservation detail this sheet.



A Tree Protection Detail with Fence

APPLICATION SPECIFIC NOTES:

- 1) A "Pre meeting" shall be held on site by the general contractor will include operators, construction supervisors, owner representative and architect. Meeting shall be held to discuss tree protection methods and limits.
- 2) Clearing limits shall be staked by general contractor prior to on site meeting, see Civil plan for limit of grading
- 3) No clearing or grading shall begin where root pruning and tree preservation measures have not been completed.
- 4) The sequence of tree treatment and preservation measures shall be:
 - a) Stake limit of grading
 - b) Install tree protection fence
- 5) General contractor shall be responsible to insure that no equipment and materials are stored with areas of protected trees. General contractor shall be responsible to repair and/ or replace trees damaged due to his/ her negligence. Owner and his/ her representatives shall judge the assessment of tree replacement or repair.

DERMODY & ASSOCIATES

LANDSCAPE ARCHITECTS
 Uisce beatha
 ph# 314.205.8871
 Missouri Certificate of Authority
 #200902208

ARCHITECT:
 The Bend Architectural Group, LLC
 450 Piggott Lane
 Alton, IL 62002

CIVIL ENGINEER:
 TWM, Inc.
 204 Evergreen Lane, Unit B
 Glen Carbon, IL 62034

CLIENT:

CLAY | ADAMS REALTY, LLC
 127 West Jefferson Avenue
 Kirkwood, MO 63123

Landscape Planting Plan for:

STARBUCKS
 12730 Dorsett Road
 Maryland Heights, MO 63043

Revisions:

No.	Description	Date:
1	City Comment	4/15/24

4/15/24

Edward M. Dermody
 Landscape Architect
 LA-2001006236

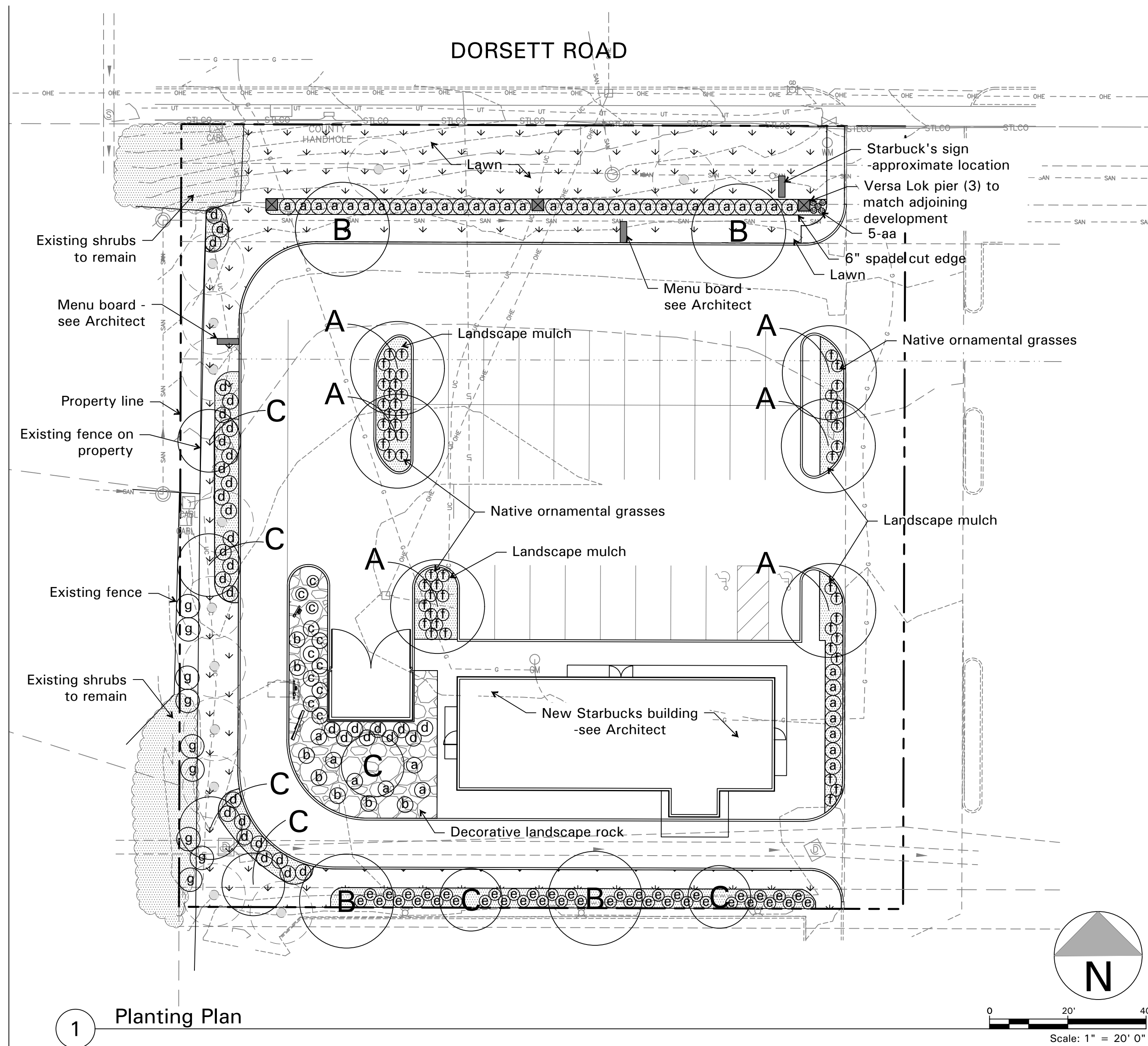
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Issue Date: April 4, 2024
 Drawn by: EMD
 Checked by: EMD
 Sheet Title
Existing Tree Survey and Tree Protection Plan

Project Number: 771.001
 Sheet Number:

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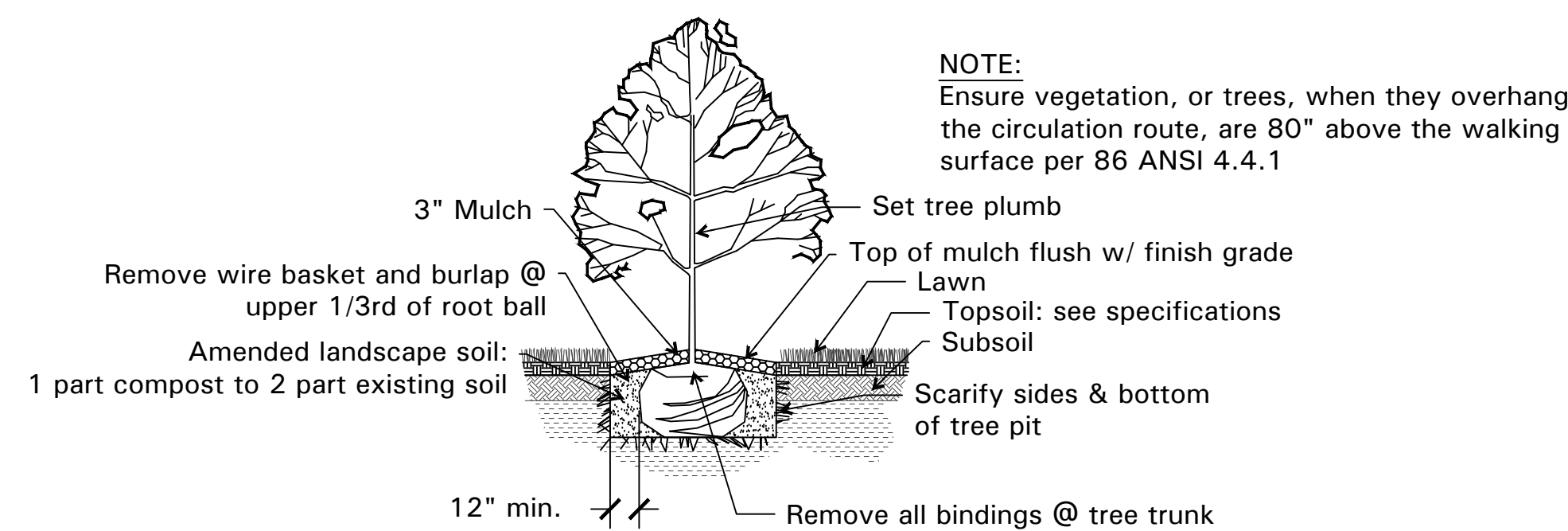
LEGEND:

Symbol	Description
	Existing tree to remain
	Proposed tree
	Proposed shrubs with hardwood bark mulch
	Proposed shrubs with decorative rock
	Lawn

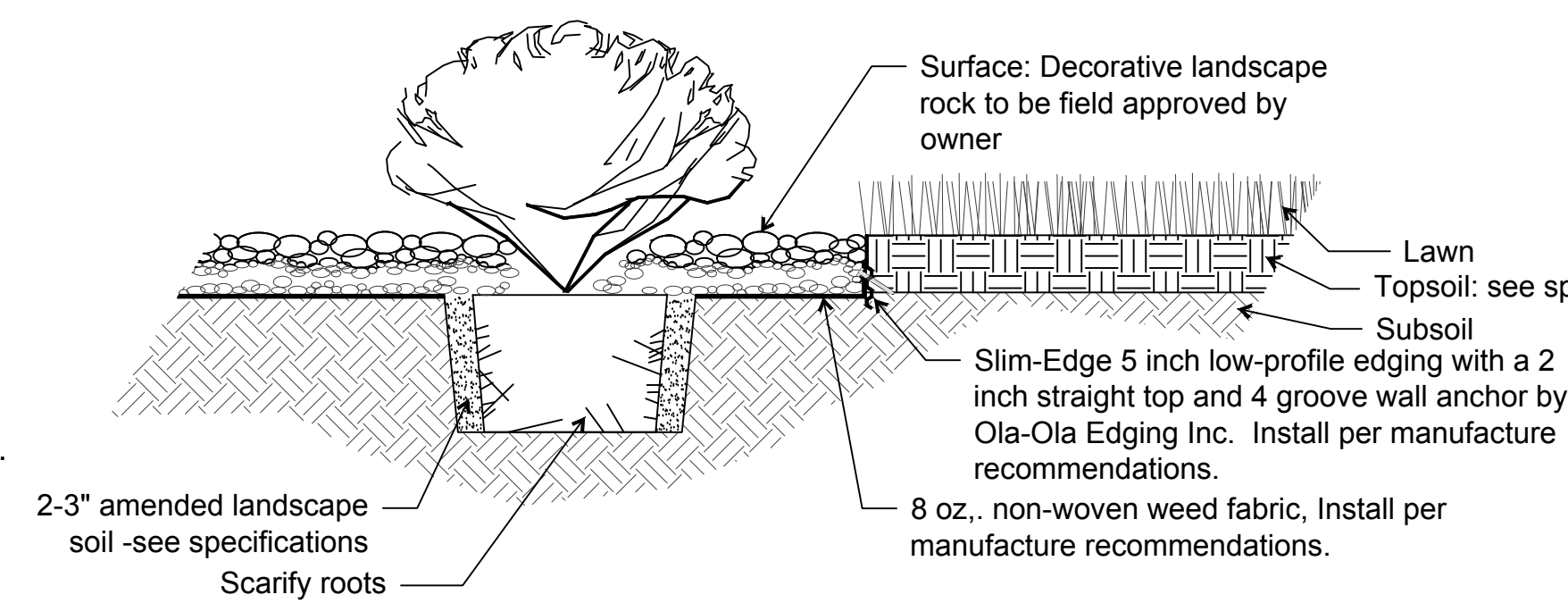
1 Planting Plan

Landscape Schedule					
Key	Qty.	Common Name	Botanical Name	Size	Comment
A	6	Honey Locust	Gleditsia triacanthos f. inermis 'Skycole'	2.5" Cal./ B&B	
B	4	Sugar Maple	Acer saccharum 'Legacy'	2.5" Cal./ B&B	
C	6	Redbud	Cersis canadensis	2" Cal./ B&B	
a	45	Juniper	Juniperus chinensis 'Gold Lace'	18-24" / 5 Gal.	
b	7	Cotoneaster	Cotoneaster apiculatus 'Tom Thumb'	20-24" / B&B	
c	11	Sawara Cypress	Chamaecyparis pisifera 'Lemon thread'	18-24" / 5 Gal.	
d	36	Red Twig Dogwood	Cornus alba 'Ivory Halo'	18" / 3 Gal.	
e	42	Little Blue Stem	Schizachyrium scoparium 'Blue Paradise'	1 Gal	
f	42	Muhly Grass	Muhlenbergia reverchonii 'Undaunted'	1 Gal	
g	9	Viburnum	Viburnum x rhytidophylloides 'Allegheny'	18-24" / 5 Gal.	
aa	5	Daylily	Hemerocallis 'Little Business'	1 Gal	
	6,200	+/- Sq. Ft. Fescue Sod			
	2,650	+/- Sq. Ft. Double Ground Bark Mulch			
	1,300	+/- Sq. Ft. Decorative Landscape Rock			

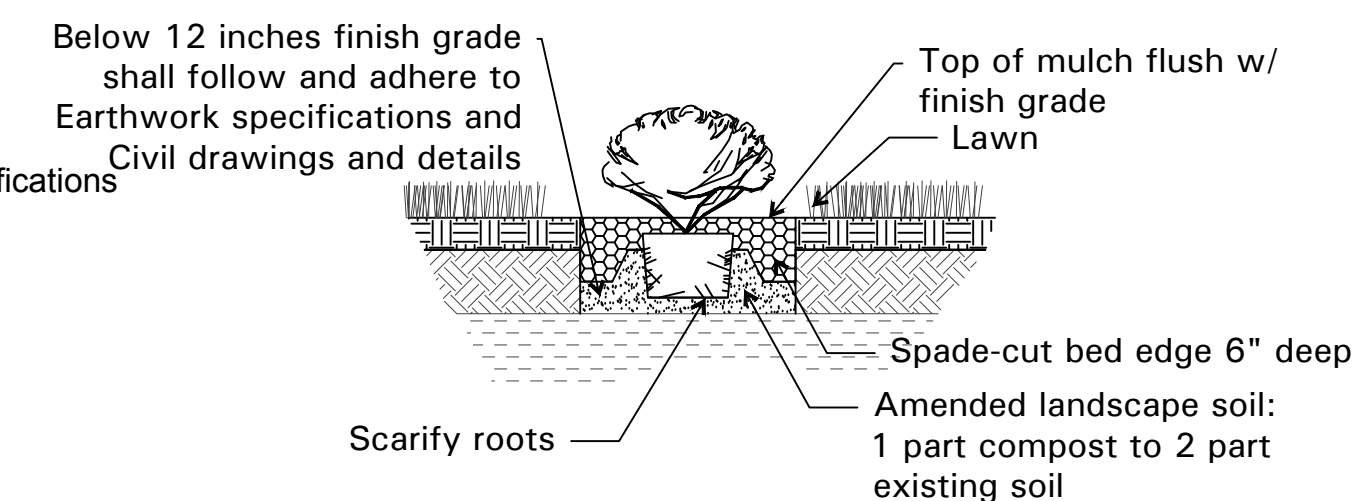
- GENERAL NOTES:**
- LANDSCAPE PROVIDED FOR CITY OF MARYLAND HEIGHTS, MO MUNICIPAL APPROVAL.
 - Landscape quantities shown for reference and bid comparison only, contractor to furnish and install plant quantities shown on plan. Notify Owner/ Landscape Architect of any discrepancies.
 - CONTRACTOR SHALL WATER ALL LANDSCAPE PLANTINGS FOR ONE (1) YEAR AFTER INITIAL ACCEPTANCE -SEE SPECIFICATIONS.
 - SOD SHALL BE WATERED AND MAINTAINED FOR NINETY (90) DAYS AFTER INITIAL ACCEPTANCE -SEE SPECIFICATIONS.
 - Contractor to review and field verify existing and proposed conditions prior to
 - Contractor to coordinate and cooperate with other trades.
 - Contractor to adjust plantings as field directed by owner and or as unforeseen field conditions require. All field changes to be documented and provided to owner prior to initial acceptance.
 - No trees shall be planted within ten (10) foot of private or public utilities unless approved by owner.
 - Proposed plant material to be approved by owner/ landscape architect -see specifications.
 - Contractor is responsible for installing all plant material, sod, topsoil and mulch as shown on plan and in specifications.
 - Plan(s) do not constitute contractor means and methods. Job site safety and project coordination is responsibility of contractor(s).



SHADE TREE PLANTING DETAIL



LANDSCAPE BED WITH DECORATIVE LANDSCAPE ROCK



SHRUB PLANTING DETAIL

Article 16. LANDSCAPE DESIGN STANDARDS
Sec. 25-16.6

Sec. 25-16.8.
Required Quantity of Plant Material for Additions and Expansions.
Does not apply -proposed project is new construction

Sec. 25-16.7

A. Required quantity of Plant Materials for New Construction

Description	sf	Points	Proposed quantity	Proposed Points	Notes/ Comments
Site Area (less 630 sf BMP Area)	37,000.00	74.00			Landscape Points Required
	500				
B. Quantity of Required Materials					
Missouri Native Trees		2.00	10	20.00	
Missouri Native Trees -existing to remain		2.00	2	4.00	
Missouri Native Understory Trees		1.00	6	6.00	
Missouri Native Understory Trees to remain		1.00	2	2.00	
Ornamental Tree (Upright Hornbeam)		1.00	0	0.00	
Evergreen Trees -existing to remain		0.75	7	5.25	
Shrubs -Deciduous		0.15	52	7.80	
Shrubs -Evergreen		0.15	56	8.40	
Missouri Native Ornamental Grasses		0.20	84	16.80	
Landscape Feature (Versa Pier @ Dorsett Rd.)		1.25	3	3.75	
				Total Points Provided	74.00
				Required Points	74.00
				Difference	0.00

Sec. 25-16.9.
A. Parking Lot Landscaping.
Total Interior parking lot area: +/- 11,200 sf
Required interior landscape area:
11,200 sf x 0.5% = 560 sf interior parking landscape area required
Interior landscape area provided: 750 sf

B. Landscaping along Parking Lot Perimeters.
1 See plan

2 Interior drive to parking lot
a. Fifteen (15) foot wide buffer strip provided on both sides of entry drive
b. Canopy trees shown are based on approved development plan

Sec. 25-16.10.
Landscaping Requirements for Buffer Areas and Screening.
No landscape buffer required

Sec. 25-16.11.
Planting Along or within Stormwater Management Areas and Screening.
See Civil sheets for BMP/ Stormwater
BMP plantings not included as part of landscape point calculations above

Sec. 25-16.13.
Landscaping Requirements for Single-Family Residential Development.
Proposed project is a part of Lakeside Crossings -this section does not apply

Sec. 25-16.14.
Landscaping Requirements for Walkways and Bikeways.
Proposed project is a part of Lakeside Crossings -this section does not apply

Sec. 25-16.15.
Related Requirements
A. -see Civil
B. -see Civil

Sec. 25-16.16.
Installation and Maintenance of Plant Material.
A A. -see Civil for erosion control and soil stabilization
B B. -see plan. All areas shall be planted with shrubs, forbs, perennials and or lawn
C C. Plant Materials
1 all proposed plant materials will meet the city requirements -see planting schedule
2 all proposed plant materials will meet or exceed American Standard for Nursery Stock
3 all plant materials required for this ordinance will be hardy in USDA Zones 5 and 6
4 unacceptable Landscape Materials will not installed on this project
5 acceptable Street Trees are identified on proposed planting schedule
E Grading -see Civil
F Sight Triangle and Sight Lines -shown on plan
G Plant Substitution During Construction: Contractor will not be allowed to reduce plant required plant quantities, quality and will be submitted for review and approval by the City Planner

H Occupancy -does not apply to this document
I Maintenance -Developer will maintain plant materials and site in accordance with Municipal Maintenance Code

Sec. 25-16.17
Waivers and Modifications
Owner request to substitute plantings for three (3) Versa Piers @ Dorsett Rd.



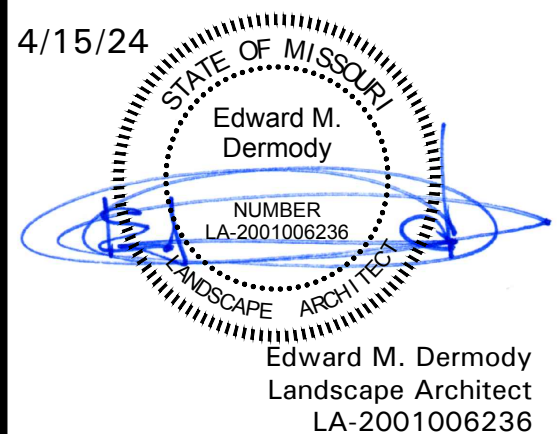
ARCHITECT:
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CIVIL ENGINEER:
TWM, Inc.
204 Evergreen Lane, Unit B
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CLIENT:
CLAY ADAMS
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127 West Jefferson Avenue
Kirkwood, MO 63123

Landscaping Plan for:
STARBUCKS
12730 Dorsett Road
Maryland Heights, MO 63043

Revisions:

No.	Description	Date:
1	City Comment	4/15/24



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Issue Date: April 4, 2024
Drawn by: EMD
Checked by: EMD
Sheet Title
Planting Plan

Project Number: 771.001
Sheet Number:

